

Merrylands Court Stockland

233, 249- 259 Merrylands Road & 52-54 McFarlane Street Merrylands.

Section 96 Application Submission_Rev 03



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Revisions	
No.	Description
1	Issue for Review
2	Issue for Review
3	Issue for Review
4	Issue for Review
5	Issue for Review
6	Issue for Review
7	Issue for Review
8	Issue for Review
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100	Issue for Review

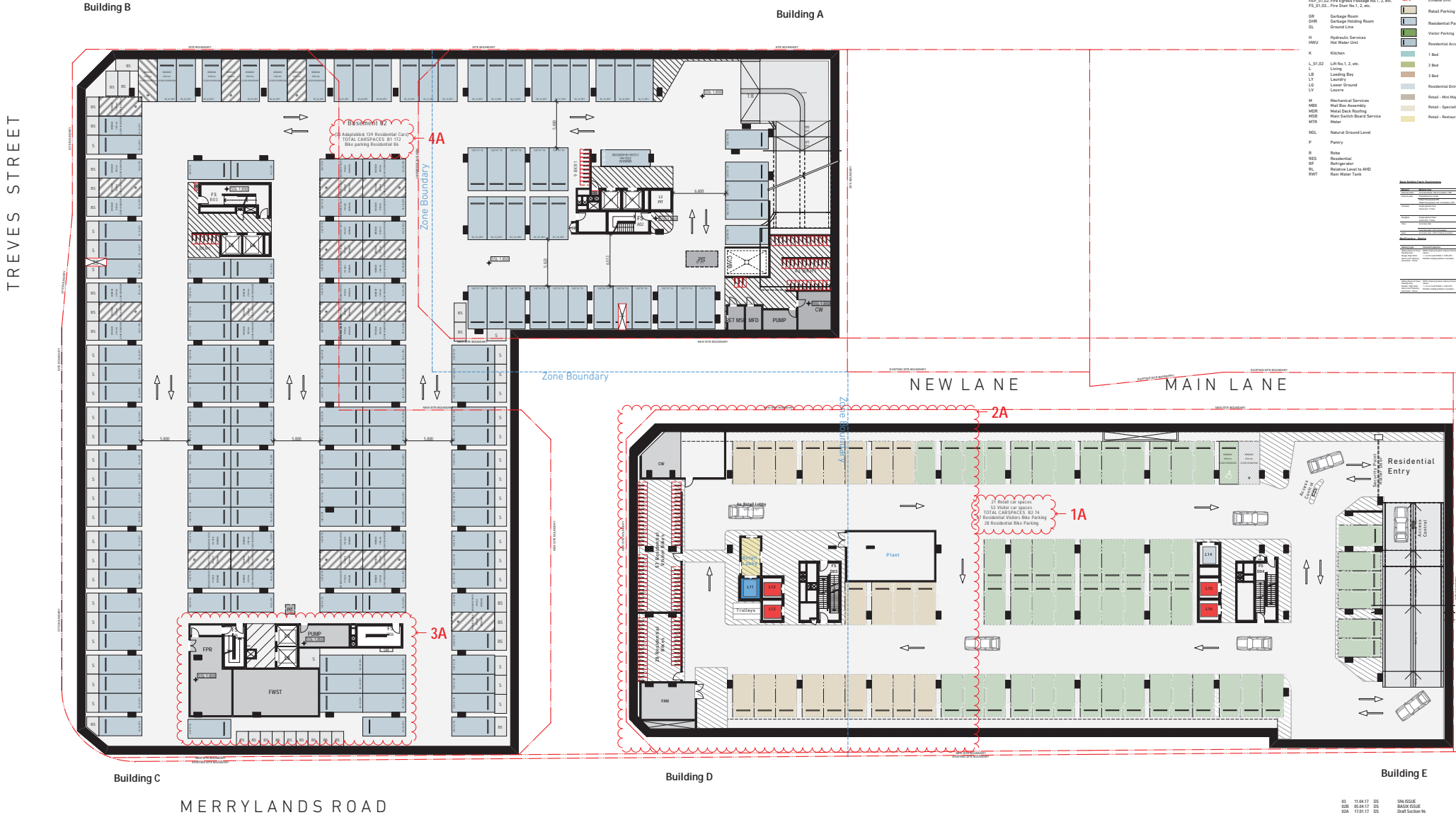
S96 Amendments

- 1A- Revised Parking Numbers for retail component
- 2A- Revised Parking layout for retail component
- 3A- Revised Plant room and removal of L9
- 4A- Revised Parking Numbers for residential component

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Stair
B	Bathroom	SC	Storage Cage
B1.2	Bathroom 1, Bedroom 2, etc.	SCM	Screen
BAL	Balustrade	SM	Smelter
BAP	Basin Parking	SM1	Skylight 1
BT	Battery	SM2	Skylight 2, etc.
CLSB	Cluster Stair	TCE	Terrace
CMDS	Communications Services	UHD	Unless Noted Otherwise
CPE	Car Park Exhaust	UD	Underground
CS	Car Share Parking Bay	US	Understorey
CWB	Car Wash Bay	US1	Understorey 1
CY	Courtyard	US2	Understorey 2, etc.
D	Driveway	V	Vault
DW	Dishwasher	VIS	Visitor
E	Entry	VIS	Visitor
ELEC	Electrical Services	VIS	Visitor
EM	Emergency staircase	VIS	Visitor
EN	Entrance	VIS	Visitor
EN	Entrance	VIS	Visitor
FEK	Fire Extinguisher	VIS	Visitor
FCC	Fire Control Centre	VIS	Visitor
FFL	Finished Floor Level	VIS	Visitor
FIB	Fire Alarm Panel	VIS	Visitor
FIP	Fire Indicator Panel	VIS	Visitor
FMP	Fire Mains Panel	VIS	Visitor
FFP.01.02	Fire Escape Passage No 1, 2, etc.	VIS	Visitor
FFL.01.02	Fire Stair No 1, 2, etc.	VIS	Visitor
GR	Garage Room	VIS	Visitor
GRR	Garage Raising Room	VIS	Visitor
GL	Ground Line	VIS	Visitor
H	Hydraulic Services	VIS	Visitor
HWU	Hot Water Unit	VIS	Visitor
K	Kitchen	VIS	Visitor
L	Living	VIS	Visitor
LB	Loading Bay	VIS	Visitor
LV	Laundry	VIS	Visitor
LC	Lower Ground	VIS	Visitor
LV	Laundry	VIS	Visitor
M	Mechanical Services	VIS	Visitor
MAE	Main Elevator	VIS	Visitor
MDE	Main Deck	VIS	Visitor
MDS	Main Deck Stair	VIS	Visitor
MTR	Meter	VIS	Visitor
NGL	Natural Ground Level	VIS	Visitor
P	Plant	VIS	Visitor
RES	Residential	VIS	Visitor
RF	Refrigerator	VIS	Visitor
RL	Relative Level to AHD	VIS	Visitor
RWT	Rain Water Tank	VIS	Visitor



NOTES

1. Refer to survey drawing prepared by Linker Surveying

2. Refer to information Concept Design prepared by Wood & Grive Engineers

3. Refer to traffic Report prepared by A/Eng

4. Refer to Landscape Concept Design prepared by Douglas

5. Refer to BASIX Report Certification number 101044990 Assessor Number - 101092

Client

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Project Title

Merrylands Court Stockland
233-249 Merrylands Road Merrylands NSW 2160

Scale

1:200 @ B1
1:100 @ B2

Project No

15303

Drawn by

AC/AM

Checked by

AC/AM

Date

03

For Information

DA-110-006

Information

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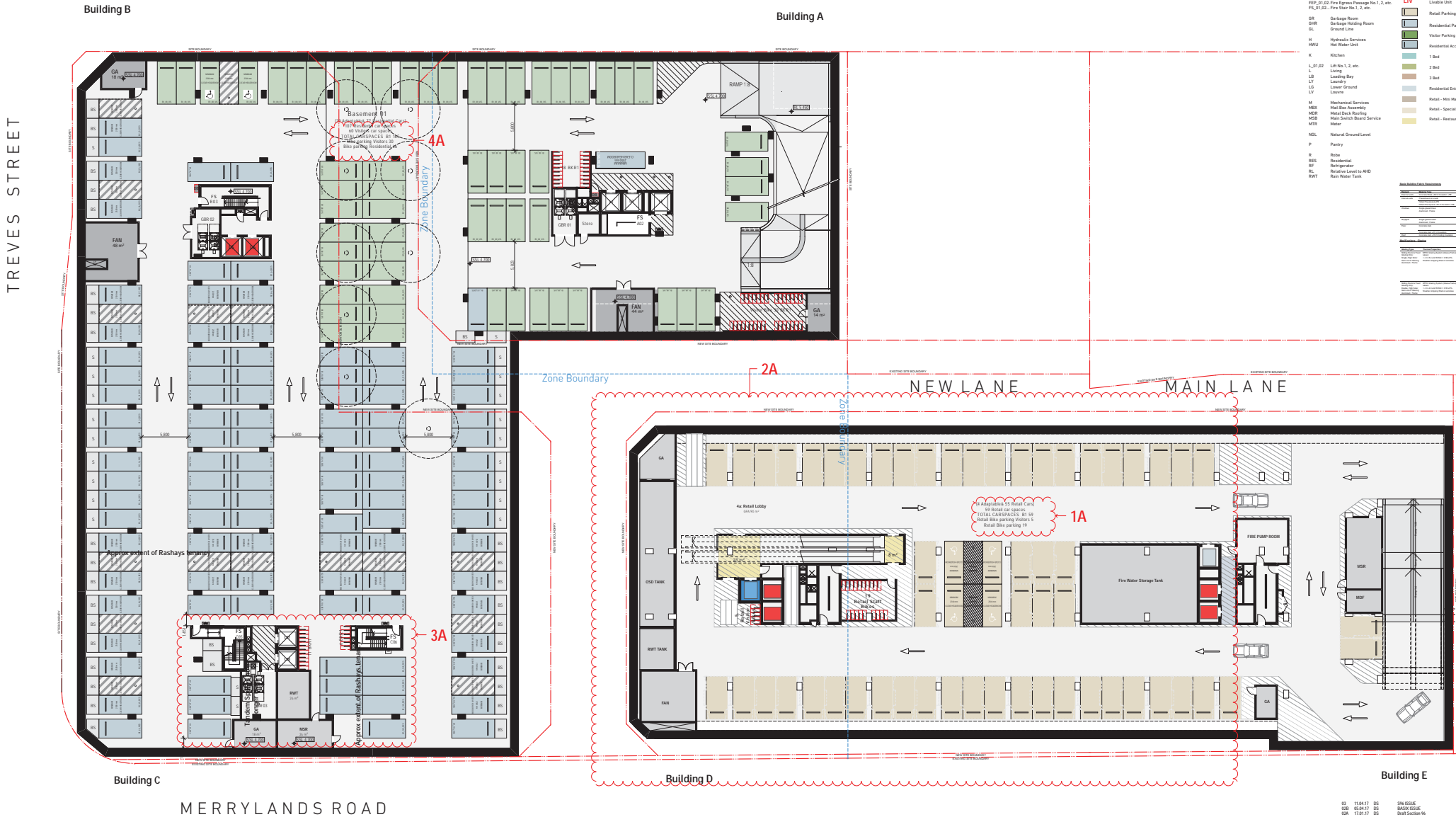
S96 Amendments

- 1A- Revised Parking Numbers for retail component
- 2A- Revised Parking layout and plant for retail component
- 3A- Revised Plant room and removal of L9
- 4A- Revised Parking Numbers for residential component

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Store
B	Bathroom	SC	Storage Cage
B1.2	Bathroom 1, Bedroom 2, etc.	SDN	Screen
BAL	Balustrade	SIM	Skirting
BPP	Basin Parking	SAL1	Skirting 1
BT	Battery	SL10	Skirt No. 1, 2, etc.
CLSB	Cluster Store	TCE	Terrace
CMDS	Communications Services	UNO	Unless Noted Otherwise
CPE	Car Park Elevation	UG	Underground
CS	Car Share Parking Bay	UIS	Understore
CWB	Car Wash Bay	UT	Utility Space
CY	Courtyard	V	Vault
D	Driveway	VS	Visitor
DW	Diameter	VS	Ventilation Shaft
E	Entry	WC	WC
ELEC	Electrical Services	WR	Walk in Refrigerator
EM	Emergency Vehicle	WM	Washing Machine
EN	Entrance	EP	Entry Point
EN	Entrance	EP	Entry Point
FEK	Fire Extinguisher	RA	Residential Area
FCC	Fire Control Centre	LX	Lift, L2, L3 and
FFL	Fire Floor Level	RL	Relative Level to AHD
FIB	Fire Alarm Panel	RA	Residential Area
FIP	Fire Indicator Panel	RA	Residential Area
FMP	Fire Misting Panel	RA	Residential Area
PEP 01.02	Fire Escape Passage No 1, 2, etc.	RA	Residential Area
PEP 01.02	Fire Escape No 1, 2, etc.	RA	Residential Area
GR	Garage Room	RA	Residential Area
GRR	Garage Racking Room	RA	Residential Area
GL	Ground Line	RA	Residential Area
H	Hydraulic Services	RA	Residential Area
MWU	Hot Water Unit	RA	Residential Area
K	Kitchen	RA	Residential Area
L1, L2	Lift No. 1, 2, etc.	RA	Residential Area
L	Living	RA	Residential Area
LB	Loading Bay	RA	Residential Area
LV	Laundry	RA	Residential Area
LC	Lower Ground	RA	Residential Area
LV	Laundry	RA	Residential Area
M	Mechanical Services	RA	Residential Area
MSE	Main Store Assembly	RA	Residential Area
MDR	Main Deck Roofing	RA	Residential Area
MSE	Main Store Assembly	RA	Residential Area
MTR	Meter	RA	Residential Area
NGL	Natural Ground Level	RA	Residential Area
P	Plant	RA	Residential Area
R	Riser	RA	Residential Area
RES	Residential	RA	Residential Area
RF	Refrigerator	RA	Residential Area
RL	Relative Level to AHD	RA	Residential Area
RWT	Rain Water Tank	RA	Residential Area



NOTES

1. Refer to survey drawing prepared by Linker Surveying
 2. Refer to site plan drawing prepared by Linker Surveying
 3. Refer to site plan drawing prepared by Linker Surveying
 4. Refer to site plan drawing prepared by Linker Surveying
 5. Refer to BASIX Report Certification number 181044990 Assessor Number - 101962

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Project No.
 Merrylands Court Stockland
 233-249 Merrylands Road Merrylands NSW 2160

Scale
 1:200 or B1

Drawn by
 AC/AM

Checked by
 AC/AM

Date
 15/03/20

Project No.
 15030

Drawn by
 AC/AM

Checked by
 AC/AM

Date
 03

For Information
 DA-110-007

GA Plans
 Basement 01

FORUMNER

15030

DA-110-007

15030

DA-110-007

Deferral of Determination - Amendments

- 1A- Glass Awnings shown over Residential Entries
- 2A- Awning extended to 3m
- 3A- Glazing added to meet active frontage requirements



Legend

01	RT Footpath	10	RT	RT	RT
02	RT	11	RT	RT	RT
03	RT	12	RT	RT	RT
04	RT	13	RT	RT	RT
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Notes:
1. Refer to survey drawing prepared by Lohr & Bergmann
2. Refer to site plan drawing prepared by Road & Drive Engineers
3. Refer to traffic report prepared by AECOM
4. Refer to geotechnical report prepared by Geotechnical
5. Refer to ESDP report (incl. landscape) prepared by Geotechnical
6. Refer to ESDP report (incl. landscape) prepared by Geotechnical

Project No.
Marylands Court Stockland
230-240 Merrylands Road Merrylands NSW 2160
Date:
10/10/2020
Scale:
1:1000
Drawing No.
DA-110-888
EIA

GA Plans
Ground Level
TURNER

Deferral of Determination - Amendments

- 1A - High Level Windows provided to units B1.01 & C1.09 to maintain visual privacy
- 2A - Unit A1.04 amended for acoustic reasons
- 3A - Landscaping extended for acoustic privacy to units B1.07 & C1.09
- 4A - LCD TV removed. Replaced with decorative facade screen.
- 5A - C.O.S. layout amended to improve visual safety
- 6A - Glass Awnings shown over Residential Entries (below)
- 7A - Awning extended to 3m (below)

TREVES STREET

McCFLANE STREET

NEW LANE MAIN LANE

MERRYLANDS ROAD



Legend

AC	Air Conditioning	S	Store
B	Bathroom	SC	Storage Cage
B1.1	Bathroom 1 Bedroom 1 unit	SCM	Screen
BAL	Balcony	SM1	Stair 1
BSP	Storage Parking	SM1.1	Stair No. 1, 1. etc.
BT	Bicycle	T	Terrace
CLM	Cluster Block	U	Unit
COMS	Communications Services	UWG	Unisex Toilet (Males/Females)
CP	Car Park	UL	Underground
CS	Car Share Parking Bay	ULS	Unisex Toilet
CWB	Car Wash Bay	ULF	Unisex Toilet
CP	Garage	V	Void
D	Dining	W	Water
DF	Dishwasher	WU	Washroom (Wash)
E	Entry	WC	W.C.
ELEC	Electrical Services	WUW	Wash in Suite
EM	Emergency Services	WUWF	Washroom (Wash/Facilities)
EN	Entrance	WUWF.1	Washroom (Wash/Facilities) 1
ES	Elevator	WUWF.2	Washroom (Wash/Facilities) 2
FIX	Fire extinguisher	WUWF.3	Washroom (Wash/Facilities) 3
FCC	Fire Control Centre	WUWF.4	Washroom (Wash/Facilities) 4
FCL	Fire Control Panel	WUWF.5	Washroom (Wash/Facilities) 5
FIP	Fire Incident Panel	WUWF.6	Washroom (Wash/Facilities) 6
FMP	Fire Motor Panel	WUWF.7	Washroom (Wash/Facilities) 7
FPS	Fire Signal Panel	WUWF.8	Washroom (Wash/Facilities) 8
FPS.1	Fire Signal Panel 1, 2, etc.	WUWF.9	Washroom (Wash/Facilities) 9
FPS.10	Fire Signal Panel 10, 11, etc.	WUWF.10	Washroom (Wash/Facilities) 10
GA	Garage	WUWF.11	Washroom (Wash/Facilities) 11
GB	Garage Bay	WUWF.12	Washroom (Wash/Facilities) 12
GBM	Garage Bay Machine	WUWF.13	Washroom (Wash/Facilities) 13
GL	Ground Level	WUWF.14	Washroom (Wash/Facilities) 14
G	Garage	WUWF.15	Washroom (Wash/Facilities) 15
L1.01	L1 Unit 1.01	WUWF.16	Washroom (Wash/Facilities) 16
L1.02	L1 Unit 1.02	WUWF.17	Washroom (Wash/Facilities) 17
L1.03	L1 Unit 1.03	WUWF.18	Washroom (Wash/Facilities) 18
L1.04	L1 Unit 1.04	WUWF.19	Washroom (Wash/Facilities) 19
L1.05	L1 Unit 1.05	WUWF.20	Washroom (Wash/Facilities) 20
L1.06	L1 Unit 1.06	WUWF.21	Washroom (Wash/Facilities) 21
L1.07	L1 Unit 1.07	WUWF.22	Washroom (Wash/Facilities) 22
L1.08	L1 Unit 1.08	WUWF.23	Washroom (Wash/Facilities) 23
L1.09	L1 Unit 1.09	WUWF.24	Washroom (Wash/Facilities) 24
L1.10	L1 Unit 1.10	WUWF.25	Washroom (Wash/Facilities) 25
L1.11	L1 Unit 1.11	WUWF.26	Washroom (Wash/Facilities) 26
L1.12	L1 Unit 1.12	WUWF.27	Washroom (Wash/Facilities) 27
L1.13	L1 Unit 1.13	WUWF.28	Washroom (Wash/Facilities) 28
L1.14	L1 Unit 1.14	WUWF.29	Washroom (Wash/Facilities) 29
L1.15	L1 Unit 1.15	WUWF.30	Washroom (Wash/Facilities) 30
L1.16	L1 Unit 1.16	WUWF.31	Washroom (Wash/Facilities) 31
L1.17	L1 Unit 1.17	WUWF.32	Washroom (Wash/Facilities) 32
L1.18	L1 Unit 1.18	WUWF.33	Washroom (Wash/Facilities) 33
L1.19	L1 Unit 1.19	WUWF.34	Washroom (Wash/Facilities) 34
L1.20	L1 Unit 1.20	WUWF.35	Washroom (Wash/Facilities) 35
L1.21	L1 Unit 1.21	WUWF.36	Washroom (Wash/Facilities) 36
L1.22	L1 Unit 1.22	WUWF.37	Washroom (Wash/Facilities) 37
L1.23	L1 Unit 1.23	WUWF.38	Washroom (Wash/Facilities) 38
L1.24	L1 Unit 1.24	WUWF.39	Washroom (Wash/Facilities) 39
L1.25	L1 Unit 1.25	WUWF.40	Washroom (Wash/Facilities) 40
L1.26	L1 Unit 1.26	WUWF.41	Washroom (Wash/Facilities) 41
L1.27	L1 Unit 1.27	WUWF.42	Washroom (Wash/Facilities) 42
L1.28	L1 Unit 1.28	WUWF.43	Washroom (Wash/Facilities) 43
L1.29	L1 Unit 1.29	WUWF.44	Washroom (Wash/Facilities) 44
L1.30	L1 Unit 1.30	WUWF.45	Washroom (Wash/Facilities) 45
L1.31	L1 Unit 1.31	WUWF.46	Washroom (Wash/Facilities) 46
L1.32	L1 Unit 1.32	WUWF.47	Washroom (Wash/Facilities) 47
L1.33	L1 Unit 1.33	WUWF.48	Washroom (Wash/Facilities) 48
L1.34	L1 Unit 1.34	WUWF.49	Washroom (Wash/Facilities) 49
L1.35	L1 Unit 1.35	WUWF.50	Washroom (Wash/Facilities) 50
L1.36	L1 Unit 1.36	WUWF.51	Washroom (Wash/Facilities) 51
L1.37	L1 Unit 1.37	WUWF.52	Washroom (Wash/Facilities) 52
L1.38	L1 Unit 1.38	WUWF.53	Washroom (Wash/Facilities) 53
L1.39	L1 Unit 1.39	WUWF.54	Washroom (Wash/Facilities) 54
L1.40	L1 Unit 1.40	WUWF.55	Washroom (Wash/Facilities) 55
L1.41	L1 Unit 1.41	WUWF.56	Washroom (Wash/Facilities) 56
L1.42	L1 Unit 1.42	WUWF.57	Washroom (Wash/Facilities) 57
L1.43	L1 Unit 1.43	WUWF.58	Washroom (Wash/Facilities) 58
L1.44	L1 Unit 1.44	WUWF.59	Washroom (Wash/Facilities) 59
L1.45	L1 Unit 1.45	WUWF.60	Washroom (Wash/Facilities) 60
L1.46	L1 Unit 1.46	WUWF.61	Washroom (Wash/Facilities) 61
L1.47	L1 Unit 1.47	WUWF.62	Washroom (Wash/Facilities) 62
L1.48	L1 Unit 1.48	WUWF.63	Washroom (Wash/Facilities) 63
L1.49	L1 Unit 1.49	WUWF.64	Washroom (Wash/Facilities) 64
L1.50	L1 Unit 1.50	WUWF.65	Washroom (Wash/Facilities) 65
L1.51	L1 Unit 1.51	WUWF.66	Washroom (Wash/Facilities) 66
L1.52	L1 Unit 1.52	WUWF.67	Washroom (Wash/Facilities) 67
L1.53	L1 Unit 1.53	WUWF.68	Washroom (Wash/Facilities) 68
L1.54	L1 Unit 1.54	WUWF.69	Washroom (Wash/Facilities) 69
L1.55	L1 Unit 1.55	WUWF.70	Washroom (Wash/Facilities) 70
L1.56	L1 Unit 1.56	WUWF.71	Washroom (Wash/Facilities) 71
L1.57	L1 Unit 1.57	WUWF.72	Washroom (Wash/Facilities) 72
L1.58	L1 Unit 1.58	WUWF.73	Washroom (Wash/Facilities) 73
L1.59	L1 Unit 1.59	WUWF.74	Washroom (Wash/Facilities) 74
L1.60	L1 Unit 1.60	WUWF.75	Washroom (Wash/Facilities) 75
L1.61	L1 Unit 1.61	WUWF.76	Washroom (Wash/Facilities) 76
L1.62	L1 Unit 1.62	WUWF.77	Washroom (Wash/Facilities) 77
L1.63	L1 Unit 1.63	WUWF.78	Washroom (Wash/Facilities) 78
L1.64	L1 Unit 1.64	WUWF.79	Washroom (Wash/Facilities) 79
L1.65	L1 Unit 1.65	WUWF.80	Washroom (Wash/Facilities) 80
L1.66	L1 Unit 1.66	WUWF.81	Washroom (Wash/Facilities) 81
L1.67	L1 Unit 1.67	WUWF.82	Washroom (Wash/Facilities) 82
L1.68	L1 Unit 1.68	WUWF.83	Washroom (Wash/Facilities) 83
L1.69	L1 Unit 1.69	WUWF.84	Washroom (Wash/Facilities) 84
L1.70	L1 Unit 1.70	WUWF.85	Washroom (Wash/Facilities) 85
L1.71	L1 Unit 1.71	WUWF.86	Washroom (Wash/Facilities) 86
L1.72	L1 Unit 1.72	WUWF.87	Washroom (Wash/Facilities) 87
L1.73	L1 Unit 1.73	WUWF.88	Washroom (Wash/Facilities) 88
L1.74	L1 Unit 1.74	WUWF.89	Washroom (Wash/Facilities) 89
L1.75	L1 Unit 1.75	WUWF.90	Washroom (Wash/Facilities) 90
L1.76	L1 Unit 1.76	WUWF.91	Washroom (Wash/Facilities) 91
L1.77	L1 Unit 1.77	WUWF.92	Washroom (Wash/Facilities) 92
L1.78	L1 Unit 1.78	WUWF.93	Washroom (Wash/Facilities) 93
L1.79	L1 Unit 1.79	WUWF.94	Washroom (Wash/Facilities) 94
L1.80	L1 Unit 1.80	WUWF.95	Washroom (Wash/Facilities) 95
L1.81	L1 Unit 1.81	WUWF.96	Washroom (Wash/Facilities) 96
L1.82	L1 Unit 1.82	WUWF.97	Washroom (Wash/Facilities) 97
L1.83	L1 Unit 1.83	WUWF.98	Washroom (Wash/Facilities) 98
L1.84	L1 Unit 1.84	WUWF.99	Washroom (Wash/Facilities) 99
L1.85	L1 Unit 1.85	WUWF.100	Washroom (Wash/Facilities) 100

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Notes:
1. Refer to survey drawing prepared by Linker Surveying
2. Refer to site plan prepared by Wood & Gilroy Engineers
3. Refer to traffic report prepared by Arup
4. Refer to landscape Concept Design prepared by Greenfield
5. Refer to BASIX Report Certification number 101049999. Assessment Number - 10092

Project No: **Merrylands Court Stockland**
233-249 Merrylands Road Merrylands NSW 2160
Date: **15/08/2024**
Drawing No: **15030**
Scale: **AS AP**
Drawing Title: **GA Plans Level 1**
Drawing No: **DA-110-010**
Drawing Title: **GA Plans Level 1**
Drawing No: **03A**

TURNER

S96 Amendments
 2A- Revised apartment layout.
 3A- Landscape revised
 4A- Internal Solid wall to living area

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Stairs
B	Bathroom	SC	Storage Cage
B1.2	Bathroom 1, Bedroom 2, etc.	SCM	Screen
BAL	Balcony	SL1	Skylight 1
BP	Breakroom	SL2	Skylight 2, etc.
BT	Battery	TCE	Terrace
CLUB	Clubhouse	UNO	Unisex Toilet
COMS	Communications Services	UO	Underground
CPE	Car Park Entrance	U/S	Understorey
CPS	Car Share Parking Bay	UT	Utility
CWB	Car Wash Bay	V	Void
CY	Courtyard	V/S	Ventilation Shaft
D	Dining	WC	W.C.
DW	Dishwasher	WIR	Walk in Refrigerator
E	Entry	WM	Washing Machine
ELEC	Electrical Services	EM	Emergency Exit
EM	Emergency	EN	Entrance
EN	Entrance	EX	Exit
FEK	Fire Extinguisher	FCC	Fire Control Centre
FCC	Fire Control Centre	FFL	Finished Floor Level
FIP	Fire Alarm Panel	FMS	Fire Mains
FMP	Fire Motor Panel	PEP 01.02	Fire Escape Passage No 1, 2, etc.
PEP 01.02	Fire Escape Passage No 1, 2, etc.	PEL 01.02	Fire Escape No 1, 2, etc.
GR	Garage Room	GR	Garage
GRM	Garage Meeting Room	H	Hydraulic Services
HL	Hot Water Unit	MCL	Natural Ground Level
HWU	Hot Water Unit	P	Pantry
K	Kitchen	R	Riser
L1.01.02	Lift No 1, 2, etc.	RES	Residential
LB	Loading Bay	RF	Refrigerator
LD	Laundry	RL	Relative Level to AHD
LE	Lower Ground	RWT	Rain Water Tank
LV	Loose		
M	Mechanical Services		
MEE	Main Elevator		
MHD	Main Deck Hoisting		
MSE	Main Service Shaft		
MTR	Meter		
NCL	Natural Ground Level		
P	Pantry		
R	Riser		
RES	Residential		
RF	Refrigerator		
RL	Relative Level to AHD		
RWT	Rain Water Tank		

TREVES STREET



MERRYLANDS ROAD

AA DA-310-001 BB DA-310-002 CC DA-310-003 EE DA-310-005

NOTES
 1. Refer to survey drawing prepared by Linker Surveying.
 2. Refer to site information. Concept Design prepared by Wood & Grive Engineers.
 3. Refer to landscape Concept Design prepared by Wood & Grive Engineers.
 4. Refer to BASIX Report Certification number 191044990. Assessor Number - 191092

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Project No: 15303
 Merrylands Court Stockland
 233-249 Merrylands Road Merrylands NSW 2160

Scale: 1:200 @ B1
 Date: 03/11/2023
 Drawn by: J.F.
 Checked by: J.F.
 Project No: 15303
 Drawing No: GA-110-030
 Title: GA Plans Level 3
 Date: 03/11/2023



S96 Amendments

- 2A- Revised apartment layout.
- 4A- Internal Solid wall to living area.

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Stone
B	Bathroom	SC	Storage Cage
B1.2	Bathroom 1, Bedroom 2, etc.	SCN	Screen
BAL	Balcony	SMA	Stair
BAP	Basement Parking	SAL1	Skylight 1
BFT	Battery	SF.01	Slab No. 1, 2, etc.
CLUB	Club Room	TCE	Terrace
COMS	Communications Services	UNO	Units Noted Otherwise
CPE	Car Park Entrance	UNO	Underground
CS	Car Share Parking Bay	US	Understorey
CWB	Car Wash Bay	UT	Utility Space
CY	Courtyard	V	Vault
D	Dining	VIS	Visitor
DW	Dishwasher	VSD	Ventilation Shaft
E	Entry	WC	Walk in Robe
ELC	Electrical Services	WM	Washing Machine
EM	Emergency Staircase	EM	Emergency Point
EN	Entrance	EP	Egress Point
EN	Entrance	LA	Residential Area
FEK	Fire Extinguisher	LS	Lot 1, 2, etc.
FCC	Fire Control Centre	RL	Relative Level to AHD
FFL	Finished Floor Level	RLXXXX	Relative Level to AHD
FHW	Fire Water Tank		
FIP	Fire Indicator Panel		
FMP	Fire Motor Panel		
PEP.01.02	Fire Escape Passage No. 1, 2, etc.		
PEP.02.02	Fire Stair No. 1, 2, etc.		
GR	Garage Room		
GRR	Garage Rinsing Room		
GL	Ground Line		
H	Hydraulic Services		
HWO	Hot Water Unit		
K	Kitchen		
L	Living		
LB	Loading Bay		
LV	Laundry		
LC	Lower Ground		
LV	Laundry		
M	Mechanical Services		
MBA	Main Bus Assembly		
MDB	Main Bus Deck		
MBS	Main Bus Stop Service		
MTR	Master		
NGL	Natural Ground Level		
P	Pantry		
R	Rebate		
RES	Residential		
RF	Refrigerator		
RL	Relative Level to AHD		
RWT	Rain Water Tank		

TREVES STREET



NOTES

1. Refer to survey drawing prepared by Linker Surveying

2. Refer to site plan drawing prepared by Linker Surveying

3. Refer to site plan drawing prepared by Linker Surveying

4. Refer to site plan drawing prepared by Linker Surveying

5. Refer to BASIX Report Certification number 101044990 Assessor Number - 101092

Client

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Project Info

Merrylands Court Stockland
233-249 Merrylands Road Merrylands NSW 2160

Scale
1:200 @ B1

Drawn by
15303 AC/AM

Check by
15303 AC/AM

Date
15/04/2024

Project No.
DA-110-040

Sheet No.
03



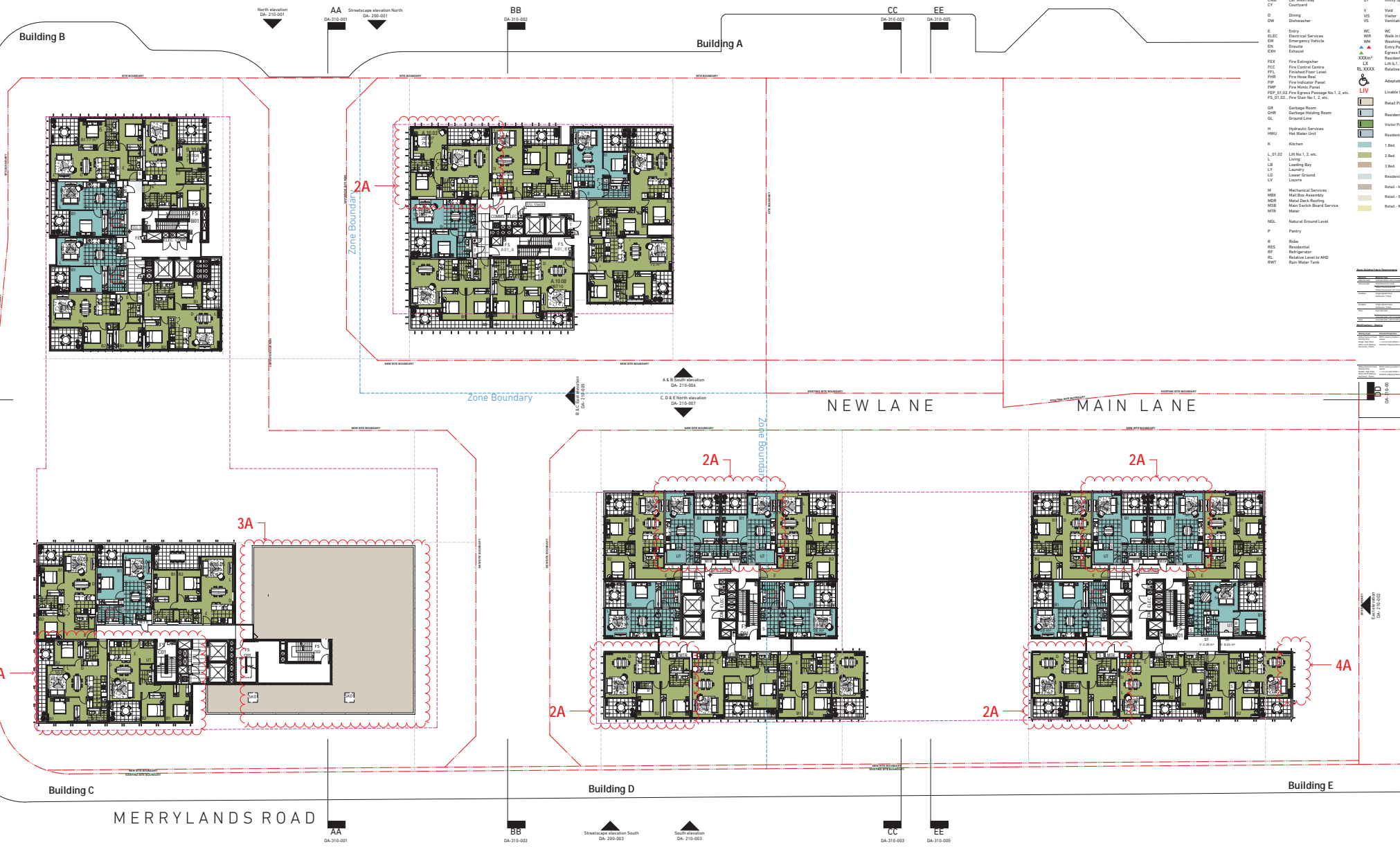
S96 Amendments
2A - Revised apartment layout.
3A - Roof top Landscaped area removed
4A - Internal Solid wall to living area

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Stone
B	Bathroom	SC	Storage Cage
BL 2.1	Bedroom 1, Bedroom 2, etc.	SCN	Screen
BAL	Balcony	SIM	Stair
BOP	Roof Parking	SL 1	Skylight 1
BT	Battery	SL 21	Skylight 2, etc.
CLUB	Clubhouse	TCE	Terrace
COMS	Communications Services	UNO	Unless Noted Otherwise
CPE	Car Park Entrance	UNO	Underground
CS	Car Share Parking Bay	US	Understorey
CWB	Car Wash Bay	UT	Utility Space
CY	Courtyard	V	Vault
D	Dining	VIS	Visitor
DW	Diameter	VSS	Ventilation Shaft
E	Entry	WC	Walk in Robe
ELC	Electrical Services	WM	Washing Machine
EM	Emergency Exit	EM	Emergency Exit
EN	Entrance	EP	Entry Point
EN	Entrance	EP	Entry Point
FEK	Fire Extinguisher	LA	Landscaped Area
FCC	Fire Control Centre	LS	Lot 1, 2, etc.
FFL	Finished Floor Level	RL	Relative Level to AHD
FHW	Fire Hose Ward	RL XXXX	Relative Level to AHD
FIP	Fire Indicator Panel		
FMP	Fire Mains Panel		
PEP 21.02	Fire Escape Passage No 1, 2, etc.		
FL 21.02	Fire Stair No 1, 2, etc.		
K	Kitchen		
GR	Garbage Room		
GRR	Garbage Receiving Room		
GL	Ground Line		
H	Hydraulic Services		
HWO	Hot Water Unit		
L	Living		
L 1, 2, 3, etc.	Lot No 1, 2, etc.		
LB	Loading Bay		
LV	Laundry		
LS	Lower Ground		
LV	Laundry		
M	Mechanical Services		
MBA	Main Bus Assembly		
MDB	Main Bus Board Service		
MTR	Meter		
NGL	Natural Ground Level		
P	Pantry		
R	Rebar		
RES	Residential		
RF	Ramp		
RL	Relative Level to AHD		
RWT	Rain Water Tank		

TREVES STREET



NOTES

1. Refer to survey drawing prepared by Linker Surveying
 2. Refer to site plan drawing prepared by Linker Surveying
 3. Refer to site plan drawing prepared by Linker Surveying
 4. Refer to site plan drawing prepared by Linker Surveying
 5. Refer to BASIX Report Certification number 101044990 Assessor Number - 101062

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Project Title
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Scale
 1:200 @ B1
 1:200 @ B2

Drawn by
 AC/AM
 03

Checked by
 15303
 03

Project No.
 15303

For Information
 GA Plans
 Level 10

01	11.08.17	DS	REV ISSUE
02A	17.01.17	DS	BASIX ISSUE
03	24.08.16	AC/AM	Final DA Submission
01-C	11.08.16	DS	Landscaping Issue
02	28.08.16	DS	BASIX ISSUE
01-A	28.08.16	DS	Client Revised Issue
01	18.02.16	DS	DA Issue
01	01.01.16	DS	DA Issue
01	01.01.16	DS	DA Issue

TURNER

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S96 Amendments
2A- Revised apartment layout.
4A- Internal Solid wall to living area

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Stone
B	Bathroom	SC	Storage Cage
B.1.2	Bathroom 1, Bedroom 2, etc.	SCN	Screen
BAL	Balustrade	SIM	Stair
BAP	Boundary Parking	SL1	Skylight 1
BT	Battery	SL2	Skylight 2, etc.
CLSB	Cluster Stair	TCE	Terrace
CMDS	Communications Services	UNO	Unisex Toilet Otherwise
CPE	Car Park Entrance	UO	Underground
CS	Car Share Parking Bay	US	Understorey
CWB	Car Wash Bay	UT	Utility Space
CY	Courtyard	V	Vault
D	Dining	VIS	Visitor
DW	Diameter	VSS	Ventilation Shaft
E	Entry	WC	Walk in Robe
ELEC	Electrical Services	WM	Washing Machine
EM	Emergency Exit	EM	Emergency Exit
EN	Ensuite	EP	Entry Point
ENH	Enchase	EPT	Egress Point
FEK	Fire Extinguisher	LA	Residential Area
FCC	Fire Control Centre	LS	Lot S.I. 12 area
FFL	Finished Floor Level	RL	Relative Level to AHD
FHW	Fire Water Tank	RL XXXX	Relative Level to AHD
FIP	Fire Indicator Panel		
FMP	Fire Motor Panel		
PEP.01.02	Fire Egress Passage No.1, 2, etc.		
PEP.02.02	Fire Egress Passage No.1, 2, etc.		
PL	Fire Seal No.1, 2, etc.		
GR	Garage Room		
GRR	Garage Racking Room		
GL	Ground Line		
H	Hydraulic Services		
HWO	Hot Water Unit		
K	Kitchen		
L	Living		
L.01.02	Lift No.1, 2, etc.		
LB	Loading Bay		
LV	Laundry		
LG	Lower Ground		
LV	Loose		
M	Mechanical Services		
MSE	Main Store Assembly		
MDS	Main Deck Roofing		
MBS	Main Switch Board Service		
MTR	Meter		
NGL	Natural Ground Level		
P	Passing		
R	Ridge		
RES	Residential		
RF	Refrigerator		
RL	Relative Level to AHD		
RWT	Rain Water Tank		

TREVES STREET

Building B

Building A

CC

EE

North elevation
DA-210-001

AA Streetscape elevation North
DA-310-001

BB
DA-310-002

DA-310-003

DA-310-005

NEW LANE

MAIN LANE

Zone Boundary

A & B South elevation
DA-210-006

C, D & E North elevation
DA-210-007

2A

2A

2A

4A

2A

Building C

Building D

Building E

MERRYLANDS ROAD

AA
DA-310-001

BB
DA-310-002

Streetscape elevation South
DA-200-003

South elevation
DA-210-003

CC
DA-310-003

EE
DA-310-005

NOTES

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Notes
 1. Refer to survey drawing prepared by Linker Surveying
 2. Refer to site information. Concept Design prepared by Wood & Grove Engineers
 3. Refer to traffic Report prepared by AECOM
 4. Refer to Landscape Concept Design prepared by Stockland
 5. Refer to BASIX Report Certification number: 101044990. Assessor Number: 101062

Project Title
Merrylands Court Stockland
 233-249 Merrylands Road Merrylands NSW 2160

Scale
 1:200 @ B1

Project No.
15300

Drawn by
AC/AL

Check by
03

Date
12/06/2025

For Information
DA-110-110

Level 11

TURNER

S96 Amendments
2A- Revised apartment layout.
4A- Internal Solid wall to living area
5A- Roof top plant room revised

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Stone
B	Bathroom	SC	Storage Cage
B1.2	Bathroom 1, Bedroom 2, etc.	SCN	Screen
BAL	Balustrade	SIM	Similar
BEP	Bicycle Parking	SIL1	Skylight 1
BT	Battery	SIL21	Skylight 2, etc.
CLUB	Clutter Store	TCE	Terrace
COMS	Communications Services	UNO	Unless Noted Otherwise
CPE	Car Park Entrance	UNO	Underground
CS	Car Share Parking Bay	US	Understorey
CWB	Car Wash Bay	UT	Utility Space
CY	Courtyard	V	Vault
D	Drinking	VIS	Visitor
DM	Diameter	VSS	Ventilation Shaft
E	Entry	WC	Walk in Refrigerator
ELEC	Electrical Services	WM	Washing Machine
EM	Emergency Exit	WMA	Washing Machine
EN	Entrance	WMA	Washing Machine
ENH	Enhancement	WMA	Washing Machine
EX	Fire Exit	WMA	Washing Machine
FEK	Fire Extinguisher	WMA	Washing Machine
FCC	Fire Control Centre	WMA	Washing Machine
FFL	Fire Floor Level	WMA	Washing Machine
FMB	Fire Main Room	WMA	Washing Machine
FIP	Fire Indicator Panel	WMA	Washing Machine
FMP	Fire Motor Panel	WMA	Washing Machine
PEP	Fire Escape Passage No 1, 2, etc.	WMA	Washing Machine
PEP	Fire Escape Passage No 1, 2, etc.	WMA	Washing Machine
FL	Fire Lining	WMA	Washing Machine
FL	Fire Lining	WMA	Washing Machine

TREVES STREET



NOTES
 1. Refer to survey drawing prepared by Linker Surveying
 2. Refer to site plan drawing prepared by Linker Surveying
 3. Refer to site plan drawing prepared by Linker Surveying
 4. Refer to site plan drawing prepared by Linker Surveying
 5. Refer to BASIX Report Certification number 181044990 Assessor Number - 101962

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Notes

- Refer to survey drawing prepared by Linker Surveying
- Refer to site plan drawing prepared by Linker Surveying
- Refer to site plan drawing prepared by Linker Surveying
- Refer to site plan drawing prepared by Linker Surveying
- Refer to BASIX Report Certification number 181044990 Assessor Number - 101962

Date	By	Approved	Checked	Scale	Project No.	Drawn By	North
15/08/17	DS	DS	DS	1:200 @ B1	Merrylands Court Stockland	AC/AM	↑
09/04/17	DS	DS	DS	1:200 @ B1	233-249 Merrylands Road Merrylands NSW 2160	AC/AM	
17/01/17	DS	DS	DS	1:200 @ B1		AC/AM	
24/08/16	DS	DS	DS	1:200 @ B1		AC/AM	
18/02/16	DS	DS	DS	1:200 @ B1		AC/AM	

Project No: Merrylands Court Stockland 233-249 Merrylands Road Merrylands NSW 2160
 Scale: 1:200 @ B1
 Drawing No: DA-110-120
 Date: 15/08/17
 Project Name: Merrylands Court Stockland
 Project Address: 233-249 Merrylands Road Merrylands NSW 2160
 Project Stage: Level 12
 Project Manager: [Name]
 Project Engineer: [Name]
 Project Architect: [Name]
 Project Surveyor: [Name]

TURNER

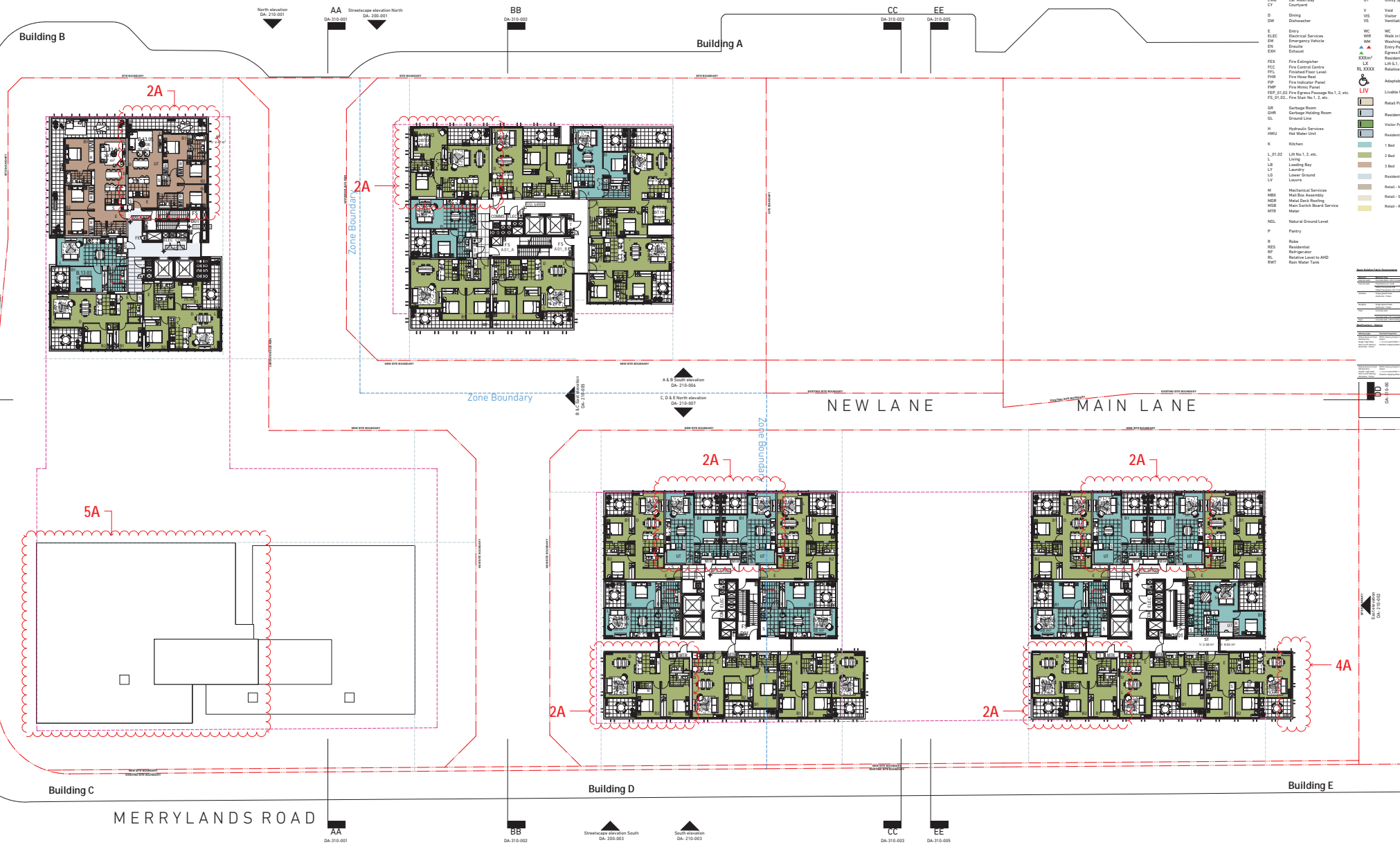
S96 Amendments
 2A- Revised apartment layout.
 4A- Internal Solid wall to living area
 5A- Roof top plant room revised

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Stone
B	Bathroom	SC	Storage Cage
BL 2.1	Bathroom 1, Bedroom 2, etc.	SCN	Screen
BAL	Balustrade	SIM	Staircase
BP	Boundary Parking	SL 1	Slab 1
BT	Battery	SL 2,1	Slab No. 1, 2, etc.
CLUB	Clutter Store	TCE	Terrace
COMS	Communications Services	UNO	Unisex Toilet Otherwise
CPE	Car Park Exhaust	UNO	Underground
CS	Car Share Parking Bay	US	Understorey
CWB	Car Wash Bay	UT	Utility Space
CY	Courtyard	V	Vault
D	Dining	VIS	Visitor
DW	Dishwasher	VSS	Ventilation Shaft
E	Entry	WC	Walk in Robe
ELC	Electrical Services	WM	Washing Machine
EM	Emergency Exit	EM	Emergency Point
EN	Entrance	EP	Egress Point
EM	Entrance	RA	Residential Area
FEK	Fire Extinguisher	LS	Life Safety Line
FCC	Fire Control Centre	LSL	Life Safety Line
FFL	Fire Floor Level	RL	Relative Level to AHD
FHP	Fire Hose Panel	RL XXXX	Relative Level to AHD
FIP	Fire Indicator Panel	RL	Relative Level to AHD
FMP	Fire Motor Panel	RL	Relative Level to AHD
PEP 21.02	Fire Escape Passage No. 1, 2, etc.	RL	Relative Level to AHD
PEL 21.02	Fire Escape No. 1, 2, etc.	RL	Relative Level to AHD
GR	Garage Room	LIV	Liveable Unit
GRR	Garage Racking Room	RP	Retail Parking
GL	Ground Line	RP	Retail Parking
H	Hydraulic Services	RP	Retail Parking
HWO	Hot Water Unit	RP	Retail Parking
K	Kitchen	RP	Retail Parking
L 1,1,1,2	Lift No. 1, 2, etc.	RP	Retail Parking
L	Living	RP	Retail Parking
LB	Loading Bay	RP	Retail Parking
LV	Laundry	RP	Retail Parking
LG	Lower Ground	RP	Retail Parking
LV	Loose	RP	Retail Parking
M	Mechanical Services	RP	Retail Parking
MSE	Main Store Assembly	RP	Retail Parking
MDS	Main Deck Staircase	RP	Retail Parking
MDS	Main Deck Staircase	RP	Retail Parking
MTR	Meter	RP	Retail Parking
NGL	Natural Ground Level	RP	Retail Parking
P	Pantry	RP	Retail Parking
R	Riser	RP	Retail Parking
RES	Residential	RP	Retail Parking
RF	Refrigerator	RP	Retail Parking
RL	Relative Level to AHD	RP	Retail Parking
RWT	Rain Water Tank	RP	Retail Parking

TREVES STREET



NOTES

1. Refer to survey drawing prepared by Linker Surveying
 2. Refer to contractor Concept Design prepared by Wood & Grive Engineers
 3. Refer to traffic Report prepared by AWP
 4. Refer to Landscape Concept Design prepared by Douglas
 5. Refer to BASIX Report Certification number: 101044990 Assessor Number: 101062

CLIENT
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Project Title
 Merrylands Court Stockland
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Scale
 1:200 @ B1

Drawn by
 AC/AM

Check by
 JFB

Date
 15/03/20

Project No.
 15030

Drawn by
 AC/AM

Check by
 JFB

Date
 15/03/20

Project No.
 15030

Drawn by
 AC/AM

Check by
 JFB

Date
 15/03/20

Project No.
 15030

Drawn by
 AC/AM

Check by
 JFB

Date
 15/03/20

TURNER

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S96 Amendments
 2A- Revised apartment layout.
 5A- Roof top plant room revised

MCFARLANE STREET

Legend

TREVES STREET

Building B

Building A

5A

2A

NEW LANE

MAIN LANE

Building C

Building D

Building E

MERRYLANDS ROAD

NOTES

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Notes
 1. Refer to survey drawing prepared by Linker Surveying
 2. Refer to site plan prepared by Linker Surveying
 3. Refer to site plan prepared by Linker Surveying
 4. Refer to Landscape Concept Design prepared by Douglas
 5. Refer to BASIX Report Certification number 101044990 Assessor Number - 101062

Project Title
 Merrylands Court Stockland
 233-249 Merrylands Road Merrylands NSW 2160

Scale
 1:200 @ B1
 1:500 @ B2

Drawn by
 15930
 AC/AM

Checked by
 15930
 AC/AM

Date
 15/03/2024

Project No.
 DA-110-140

Level 14

TURNER

AC	Air Conditioning	S	Stone
B	Bathroom	SC	Storage Cage
B1.2	Bathroom 1, Bedroom 2, etc.	SCN	Screen
BAL	Balustrade	SIM	Similar
BPP	Basin Parking	SL1	Skylight 1
BT	Battery	SL21	Skylight 2, etc.
CLUB	Club Store	TCE	Terrace
COMS	Communications Services	UNO	Unisex Toilet Otherwse
CPE	Car Park Entrance	UO	Underground
CS	Car Share Parking Bay	US	Understorey
CWB	Car Wash Bay	UT	Utility Space
CY	Courtyard	V	Vault
D	Driveway	VIS	Visitor
DW	Diameter	VSD	Ventilation Shaft
E	Entry	WC	Walk in Refrigerator
ELC	Electrical Services	WM	Washing Machine
EM	Emergency Exit	WMA	Washing Machine
EN	Entrance	EP	Entry Point
ENI	Entrance	EPH	Egress Point
FEK	Fire Extinguisher	RA	Residential Area
FCC	Fire Control Centre	RL	Relative Level to AHD
FFL	Finished Floor Level	RL XXXX	Relative Level to AHD
FHW	Fire Hose Ward	RL XXXX	Relative Level to AHD
FIP	Fire Indicator Panel		
FMP	Fire Motor Panel		
PEP.01.02	Fire Escape Passage No. 1, 2, etc.		
PEP.02.02	Fire Escape No. 1, 2, etc.		
K	Kitchen	LIV	Liveable Unit
GR	Garage Room		
GRR	Garage Racking Room		
GL	Ground Line		
H	Hydraulic Services		
HWU	Hot Water Unit		
L	Living		
L1.01.02	Lift No. 1, 2, etc.		
LB	Loading Bay		
LV	Laundry		
LG	Lower Ground		
LV	Laundry		
M	Mechanical Services		
MBA	Main Bus Assembly		
MDB	Main Bus Deck		
MBS	Main Bus Stop Board Service		
MTR	Meter		
NGL	Natural Ground Level		
P	Pantry		
R	Refrigerator		
RES	Residential		
RF	Refrigerator		
RL	Relative Level to AHD		
RWT	Rain Water Tank		

1 Bed	1 Bed
2 Bed	2 Bed
3 Bed	3 Bed
Residential Entry	Residential Entry
Residential Major	Residential Major
Residential Specialty	Residential Specialty
Residential Restaurant	Residential Restaurant

03	14.04.17	05	REV ISSUE
04	05.04.17	05	BASIX ISSUE
05	17.07.17	05	REV ISSUE
06	24.08.16	05	Submittal DA Submission
07	01.09.16	05	BASIX ISSUE
08	29.08.16	05	Client revised issue
09	18.02.18	05	DA Issue
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S96 Amendments

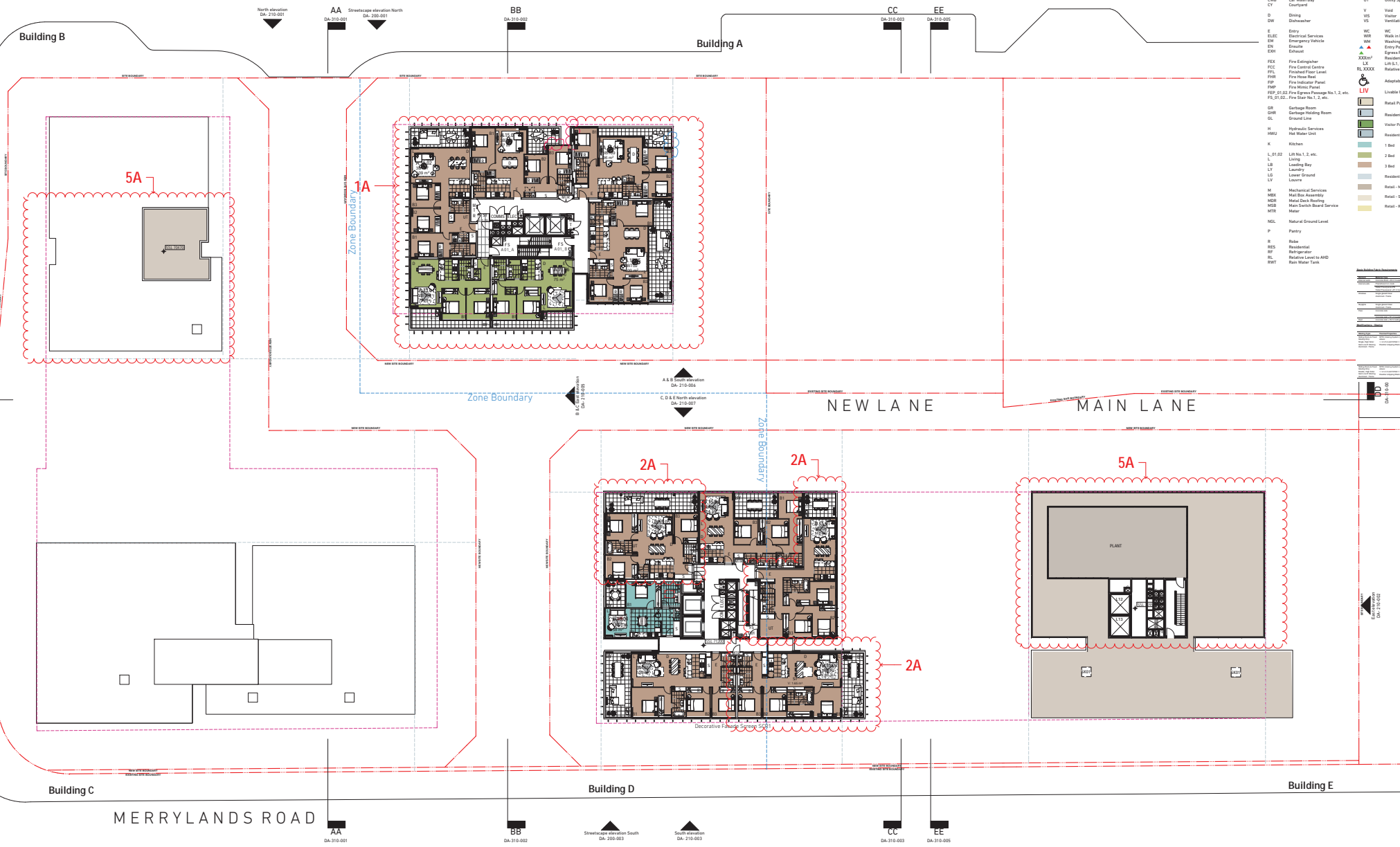
- 1A- Apartment plate amended. Building A reduced to 15 storeys from 17 storeys. No additional GFA proposed.
- 2A- Revised apartment layout.
- 5A- Roof top plant room revised

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Stone
B	Bathroom	SC	Storage Cage
B1.2	Bathroom 1, Bedroom 2, etc.	SCN	Screen
BAL	Balustrade	SCM	Stair
BAP	Basin Parking	SK1.1	Skylight 1
BT	Battery	SK1.2	Skylight 2, etc.
CLSB	Cluster Store	TCE	Terrace
CMDS	Communications Services	UNO	Unless Noted Otherwise
CPE	Car Park Elevation	UO	Underground
CS	Car Share Parking Bay	U/S	Understorey
CWB	Car Wash Bay	UT	Utility Space
CY	Courtyard	V	Vault
D	Dining	V/S	Visitor
DW	Diameter	V/S	Ventilation Shaft
E	Entry	WC	Walk in Refrigerator
ELEC	Electrical Services	WM	Washing Machine
EM	Emergency Exit	WMA	Washing Machine
EN	Entrance	EP	Entry Point
EN	Entrance	EP	Entry Point
FEK	Fire Extinguisher	RA	Residential Area
FCC	Fire Control Centre	RL	Relative Level to AHD
FFL	Finished Floor Level	RL XXXX	Relative Level to AHD
FHW	Fire Water Head	RL XXXX	Relative Level to AHD
FIP	Fire Indicator Panel	RL XXXX	Relative Level to AHD
FMP	Fire Motor Panel	RL XXXX	Relative Level to AHD
PEP 01.02	Fire Escape Passage No 1, 2, etc.	RL XXXX	Relative Level to AHD
PEP 01.02	Fire Escape No 1, 2, etc.	RL XXXX	Relative Level to AHD
GR	Garage Room	LIV	Liveable Unit
GRR	Garage Racking Room	LP	Liveable Parking
GL	Ground Line	LP	Liveable Parking
H	Hydraulic Services	LP	Liveable Parking
HWO	Hot Water Unit	LP	Liveable Parking
K	Kitchen	LP	Liveable Parking
L 01.02	Lift No 1, 2, etc.	LP	Liveable Parking
L	Living	LP	Liveable Parking
LB	Loading Bay	LP	Liveable Parking
LV	Lower Ground	LP	Liveable Parking
LV	Lower Ground	LP	Liveable Parking
M	Mechanical Services	LP	Liveable Parking
MSE	Main Store Assembly	LP	Liveable Parking
MDS	Main Deck Roofing	LP	Liveable Parking
MDS	Main Deck Roofing	LP	Liveable Parking
MTR	Meter	LP	Liveable Parking
NGL	Natural Ground Level	LP	Liveable Parking
P	Passing	LP	Liveable Parking
R	Riser	LP	Liveable Parking
RES	Residential	LP	Liveable Parking
RF	Refrigerator	LP	Liveable Parking
RL	Relative Level to AHD	LP	Liveable Parking
RWT	Rain Water Tank	LP	Liveable Parking

TREVES STREET



NOTES

1. Refer to survey drawing prepared by Linker Surveying

2. Refer to site plan drawing prepared by Wood & Grive Engineers

3. Refer to traffic Report prepared by Y&K

4. Refer to Landscape Concept design prepared by Douglas

5. Refer to BASIX Report Certification number 101044990 Assessor Number - 101062

CLIENT

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+61 2 9035 3351
jenna.fore@stockland.com.au

Project Title

Merrylands Court Stockland
233-249 Merrylands Road Merrylands NSW 2160

Scale

1:200 @ B1

Drawn by

15303 AC/AL

Check by

15303 AC/AL

Date

15/03/2023

DATE

15/03/2023

ISSUE

15303 AC/AL

DESCRIPTION

15303 AC/AL

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15/03/2023

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15303 AC/AL

TURNER

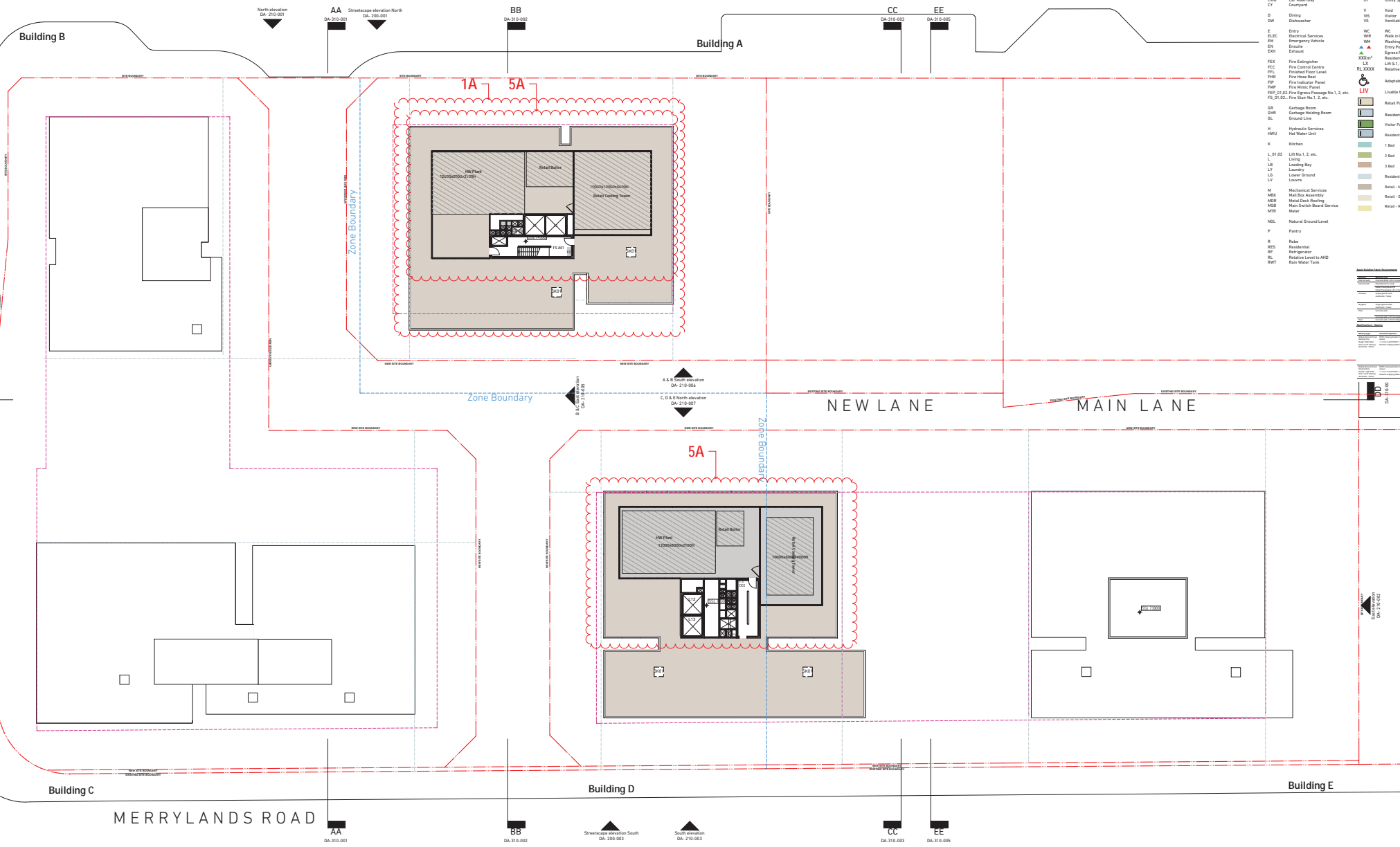
S96 Amendments
 1A - Apartment plate amended. Building A reduced to 15 storeys from 17 storeys. No additional GFA proposed.
 5A - Roof top plant room revised

MCFARLANE STREET

Legend

AC	Air Conditioning	S	Stone
B	Bathroom	SC	Storage Cage
B1.2	Bathroom 1, Bedroom 2, etc.	SCN	Screen
BAL	Balustrade	SIM	Stair
BAP	Basin Parking	SK1	Skylight 1
BT	Battery	SK2	Skylight 2
		SK3	Skylight 3
CLSB	Cluster Store	TCE	Terrace
CMDS	Communications Services	UNH	Unisex Toilet Otherwise
CPE	Car Park Elevation	UR	Underground
CS	Car Share Parking Bay	US	Understorey
CWB	Car Wash Bay	UT	Utility Space
CY	Courtyard	V	Vault
D	Dining	VIS	Visitor
DW	Dishwasher	VSD	Ventilation Shaft
E	Entry	WC	Walk in Robe
ELEC	Electrical Services	WM	Washing Machine
EM	Emergency Staircase	WMA	Washing Machine Access
EN	Entrance	EP	Entry Point
ENH	Ensuite	EA	Escape Route
FEK	Fire Extinguisher	RA	Residential Area
FCL	Fire Control Centre	LR	Lot 1, 2, etc.
FPL	Fire Floor Level	RL	Relative Level to AHD
FPP	Fire Floor Panel	RL XXXX	Relative Level to AHD
FMP	Fire Motor Panel	RL	Relative Level to AHD
FFP	Fire Floor Panel	RL	Relative Level to AHD
PEP	Fire Escape Passage No 1, 2, etc.		
FLS	Fire Stair No 1, 2, etc.		
GR	Garage Room		
GRR	Garage Racking Room		
GL	Ground Line		
H	Hydraulic Services		
HWU	Hot Water Unit		
K	Kitchen		
L	Living		
L1,2	Lot No 1, 2, etc.		
LB	Loading Bay		
LV	Laundry		
LG	Lower Ground		
LV	Loose		
M	Mechanical Services		
MSE	Main Store Assembly		
MDS	Main Deck Roofing		
MBS	Main South Board Service		
MTR	Master		
NGL	Natural Ground Level		
P	Passive		
R	Riser		
RES	Residential		
RF	Ramp		
RL	Relative Level to AHD		
RWT	Rain Water Tank		

TREVES STREET



NOTES
 1. Refer to survey drawing prepared by Linker Surveying
 2. Refer to information Concept Design prepared by Wood & Grive Engineers
 3. Refer to traffic Report prepared by Alog
 4. Refer to Landscape Concept Design prepared by Douglas
 5. Refer to BASIX Report Certification number 101044990 Assessor Number - 101092

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Project Title
 Merrylands Court Stockland
 233-249 Merrylands Road Merrylands NSW 2160

Scale
 1:200 @ B1

Drawn by
 15930

Check by
 AC/AL

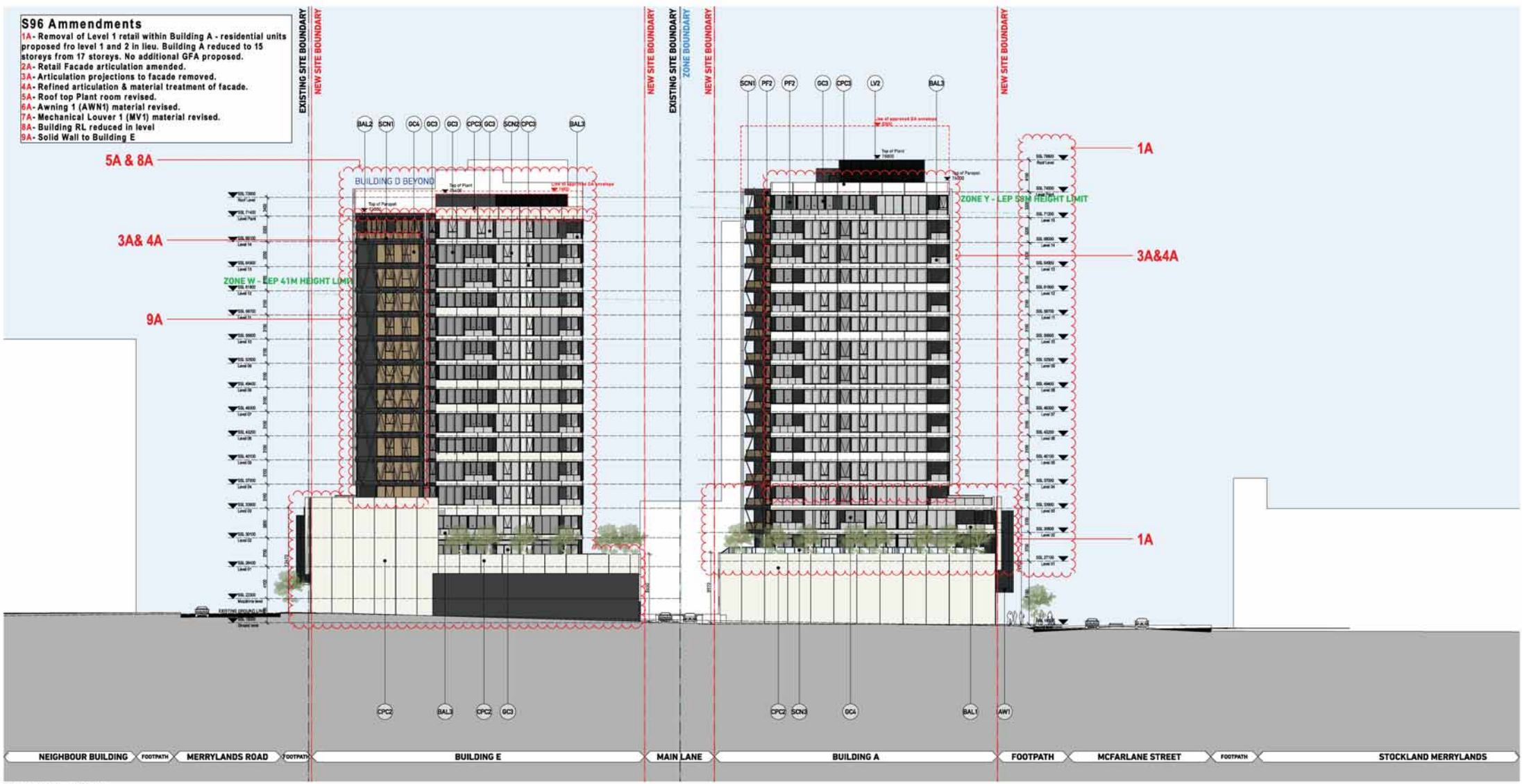
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For Information
 DA-110-160

TURNER

S96 Amendments

- 1A- Removal of Level 1 retail within Building A - residential units proposed fro level 1 and 2 in lieu. Building A reduced to 15 storeys from 17 storeys. No additional GFA proposed.
- 2A- Retail Facade articulation amended.
- 3A- Articulation projections to facade removed.
- 4A- Refined articulation & material treatment of facade.
- 5A- Roof top Plant room revised.
- 6A- Awning 1 (AWN1) material revised.
- 7A- Mechanical Louver 1 (MV1) material revised.
- 8A- Building RL reduced in level
- 9A- Solid Wall to Building E

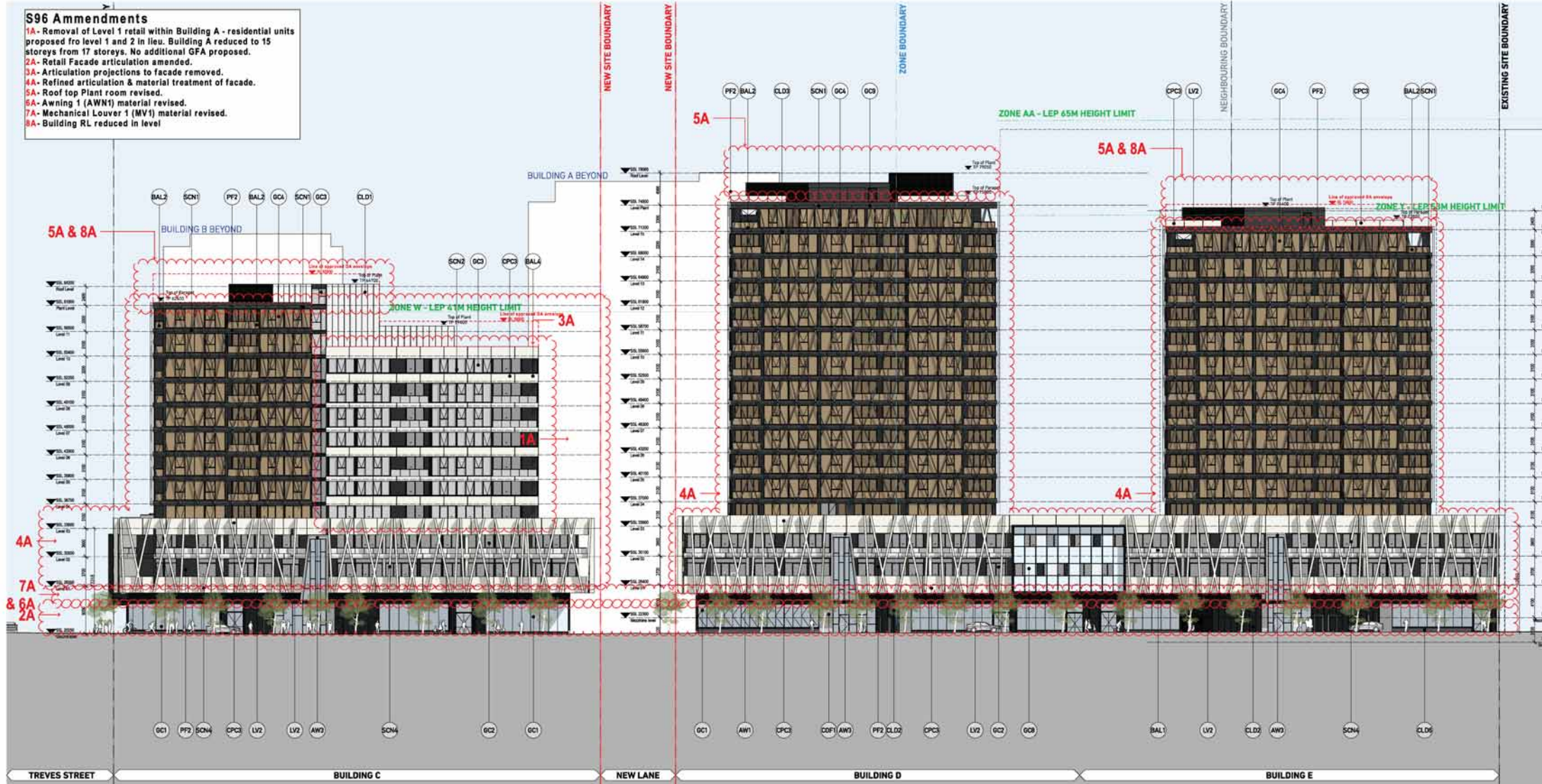


2 Elevation across Main Lane 1:200

Code	Description	Code	Description	Code	Description	Code	Description				
AW1	Awning Type 1 Solid framing with composite metal deck roof and concealed bogiebar. FC slabbing to composite panels. Colour to match PF1. Framing system and fascia, aluminium, colour and finish to match PC2.	BAL2	Balustrade Type 2 Semi-Framless full height, bronze body 171 glass balustrade. Framing system powder coat finish, colour to match PC2.	CL4	Cladding Type 4 Decorative perforated metal cladding system. Colour and finish to match PC2.	GC3	Glass, Clear, Type 8 Neutral Glass, clear with integrated vision and high level finish at louvers. Framing system, aluminium. Frame colour to match PC2.	LW2	Louvre, Type 1 Fixed horizontal mechanical louvre system, 800mm profile. Aluminium powdercoat finish. Colour and finish to match PC2.	SC9	Screen, Type 1 300x 200mm fixed Aluminium angled to integrated 150 off glass. Powdercoat finish to match PC1.
AW2	Awning Type 2 Semi-Framless Decorative Glass, clear, column pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PC2.	BAL3	Balustrade Type 3 Semi-Framless full height, bronze body 171 glass balustrade. Framing system powder coat finish, colour to match PC2.	CL6	Cladding Type 6 Bronze cladding & bronze, bronze finish. Stone equal to Deep Park Bluestone. Where contrasting edge required, Alpine White granite, outside finish, to be used.	GC2	Glass, Clear, Type 2 Neutral Glass, clear. Framing system, aluminium. Frame colour to match PC2.	OC8	Operable Glass, Clear, clear, column pattern integrated to framed glass surface. Framing system, aluminium. Frame colour to match PC2.	PC1	Powdercoat Finish, Type 1 Powder coat Colour to match Interpol Pearl White Mat.
AW3	Awning Type 3 Metal cladding system. Decorative perforated pattern to underside with integrated lighting. Colour and finish to match PC2.	BAL4	Balustrade Type 4 Semi-Framless full height, bronze body 171 glass balustrade. Refer to OC3.	OC1	Concrete Finish, Type 1 Concrete, natural finish with integrated signage. Finishing clear low alkali resin sealant.	GC1	Glass, Clear, Type 3 Neutral Glass, clear. Framing system, aluminium. Frame colour to match PC2. Where applicable 'Shade box' operable with back pane to shadow use (perforated metal cladding, colour selection providing high end contrast to glass).	OCM1	Concrete Render, Type 1 Concrete render, pearl finish. Pearl finish to match PF1.	PC2	Powdercoat Finish, Type 2 Powder coat Colour to match Interpol Monument Mat.
AW4	Awning Type 4 Semi-Framless Decorative Glass, clear, column pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PC2.	CL1	Cladding Type 1 Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Agate M920 White G335.	OC2	Precast Concrete, Type 1 Precast concrete decorative facade system. Pearl finish to match PF1.	GC4	Glass, Clear, Type 4 Glass, Bronze tint. Framing system, aluminium, colour to match PC2. Where applicable 'Shade box' to fit height operable with back pane to shadow use (perforated metal cladding).	OCM2	Concrete Render, Type 2 Concrete render, pearl finish. Pearl finish to match PF2.	PF1	Paint Finish, Type 1 Paint finish. Colour to match Dulux 'Vivid White'.
BAL1	Balustrade Type 1 Semi-Framless full height white translucent glass balustrade to match GC1. Framing system, aluminium, colour and finish to match PC1.	CL2	Cladding Type 2 Metal cladding system. Colour and finish to match Agate M799 Charcoal G335.	OC3	Precast Concrete, Type 2 Light weight precast facade system. Pearl finish to match PF1.	GC5	Glass, Clear, Type 5 Glass, Grey Tinted. Framing system, aluminium, frame colour to match PC2.	LV1	Louvre, Type 1 Fixed horizontal mechanical louvre system, 800mm profile. Aluminium powdercoat finish. Colour and finish to match PC1.	PF2	Paint Finish, Type 2 Paint finish. Colour to match Dulux 'Domino'.
		CL3	Cladding Type 3 Metal cladding system. Colour and finish to match Agate M799 Charcoal G335.	OC5	Precast Concrete, Type 3 Light weight precast facade system. Pearl finish to match PF1.	GC6	Glass, Clear, Type 6 Decorative Corner element. Curved Glass, clear. Framing system, aluminium, colour to match PC2.	LV3	Louvre, Type 3 Fixed horizontal mechanical louvre system, 800mm profile. Aluminium powdercoat finish. Colour and finish to match PC2.	PC3	Powdercoat Finish, Type 3 Powder coat Colour to match Interpol Pearl White Mat.

S96 Amendments

- 1A- Removal of Level 1 retail within Building A - residential units proposed from level 1 and 2 in lieu. Building A reduced to 15 storeys from 17 storeys. No additional GFA proposed.
- 2A- Retail Facade articulation amended.
- 3A- Articulation projections to facade removed.
- 4A- Refined articulation & material treatment of facade.
- 5A- Roof top Plant room revised.
- 6A- Awning 1 (AWN1) material revised.
- 7A- Mechanical Louver 1 (MV1) material revised.
- 8A- Building RL reduced in level



1 Merrilands Road Elevation
1:200

Material Schedule - Façade Elements (Continued)

AWN	Awning Type 1 Solid framing with composite metal deck and concealed bogies. FC slabling to composite panels. Colour to match PF1 framing system and facade, aluminium, colour and finish to match PCF2.	BAL2	Balustrade Type 2 Semi-framed full height, bronze body (1) glass balustrade. Framing system powder coat finish, colour to match PCF2.	CLD4	Cladding Type 4 Decorative patterned metal cladding system. Colour and finish to match PCF2.	GLC	Glass, Clear, Type 6 Neutral Glass, clear with integrated vision and high level finish or louvers, framing system, aluminium. Frame colour to match PCF2.
AWN	Awning Type 2 Semi-framed decorative glass, clear, screen pattern integrated to framed glass surface. Framing system and facade, aluminium, colour and finish to match PCF2.	BAL3	Balustrade Type 3 Semi-framed full height, crystal (1) glass balustrade. Framing system powder coat finish, colour to match PCF2.	CLD5	Cladding Type 5 Pre-finished cladding system. Colour and finish to match PF2.	GLC2	Glass, Clear, Type 2 Neutral Glass, clear. Framing system, aluminium. Frame colour to match PCF2.
AWN	Awning Type 3 Metal cladding system. Decorative perforated pattern to underside with integrated lighting. Colour and finish to match PCF2.	BAL4	Balustrade Type 4 Precast concrete system balustrade. Refer to CPCE.	CLD6	Cladding Type 6 Stone cladding & paving, honed finish. Stone equal to Deep Park Bluestone. Where contrasting edge required, Apina White granite, outside face, to be used.	GLC3	Glass, Clear, Type 3 Glass, Clear (1) Framing system, aluminium. Frame colour to match PCF2. Where applicable 'Shade box' operable with track pans to shadow one pre-finished metal cladding, colour selection providing light and dark contrast to glass.
AWN	Awning Type 4 Semi-framed decorative glass, clear, custom pattern integrated to framed glass surface. Framing system and facade, aluminium, colour and finish to match PCF2.	CPD	Concrete Finish, Type 1 Decorative concrete finish. Refer to CPCE.	OPR	Concrete Finish, Type 1 Precast concrete finish with integrated signage. Referencing clear view screen system.	GLC4	Glass, Clear, Type 4 Glass, Bronze (1) Framing system, aluminium, colour to match PCF2. Where applicable 'Shade box' to fit height operable with track pans to shadow one pre-finished metal cladding.
BAL	Balustrade Type 1 Semi-framed full height frameless glass balustrade to match GC1. Framing system, aluminium, colour and finish to match PCF1.	CPD1	Concrete Finish, Type 2 Precast concrete finish. Refer to CPCE.	OPR2	Precast Concrete, Type 2 Precast concrete finish, vertical panels. Refer to match PF1.	GLC5	Glass, Clear, Type 5 Glass, Grey Translucent. Framing system, aluminium, frame colour to match PCF1.
		CPD2	Concrete Finish, Type 3 Precast concrete finish. Refer to CPCE.	OPR3	Precast Concrete, Type 3 Light weight precast facade system. Refer to match PF1.	GLC6	Glass, Clear, Type 6 Glass, Clear, Type 6

GLC7	Glass, Clear, Type 7 Glass, Clear (1) Framing system, aluminium, frame colour to match PCF1.	LVR	Louvre, Type 1 Fixed horizontal mechanical louvre system, 100mm profile. Aluminium powdercoat finish. Colour and finish to match PCF1.
GLC8	Glass, Clear, Type 8 Glass, Clear (1) Framing system, aluminium, frame colour to match PCF1.	LVR2	Louvre, Type 2 Fixed horizontal mechanical louvre system, 100mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.
GLC9	Glass, Clear, Type 9 Glass, Clear (1) Framing system, aluminium, frame colour to match PCF1.	LVR3	Louvre, Type 3 Fixed horizontal mechanical louvre system, 100mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.
GLC10	Glass, Clear, Type 10 Glass, Clear (1) Framing system, aluminium, frame colour to match PCF1.	PCF1	Pre-finished Finish, Type 1 Powdercoat finish. Refer to match PF1.
GLC11	Glass, Clear, Type 11 Glass, Clear (1) Framing system, aluminium, frame colour to match PCF1.	PCF2	Pre-finished Finish, Type 2 Powdercoat finish. Refer to match PF1.
GLC12	Glass, Clear, Type 12 Glass, Clear (1) Framing system, aluminium, frame colour to match PCF1.	PF1	Paint Finish, Type 1 Paint finish. Colour to match Dulux 'Vivid White'.
GLC13	Glass, Clear, Type 13 Glass, Clear (1) Framing system, aluminium, frame colour to match PCF1.	PF2	Paint Finish, Type 2 Paint finish. Colour to match Dulux 'Dorino'.

SCN	Screen, Type 1 300x 250mm Fixed Aluminium angled to staggered 50 off glass. Powdercoat finish to match PF1.
SCN2	Screen, Type 2 Fixed Vertical Aluminium screen system 150 in depth integrated with window system. Powdercoat finish to match PCF2.
SCN3	Screen, Type 3 Fixed glass perimeter screening with steel structure support, elements to match PCF1.
SCN4	800x 250mm Fixed Aluminium angled for staggered and fixed to site angle. Powdercoat finish to match PCF1.
SCN5	Fixed Louvers and solid screen well to park area. Refer to BASIX assessment for performance requirements of glazing and external materials. Refer to landscape documentation for public domain and landscape areas for further information regarding materials and finishes selection.

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Notes:
1. Refer to survey drawing prepared by Linker Surveying
2. Refer to site/master Concept Design prepared by Reed & Brown Engineers
3. Refer to traffic Report prepared by AEC
4. Refer to landscape Concept Design prepared by Greenfield
5. Refer to BASIX Report Certification number 1043992. Assessment Number : 109842

GA Elevation
South Elevation

Project No: Merrilands Court Stockland
233-249 Merrilands Road Merrilands NSW 2160

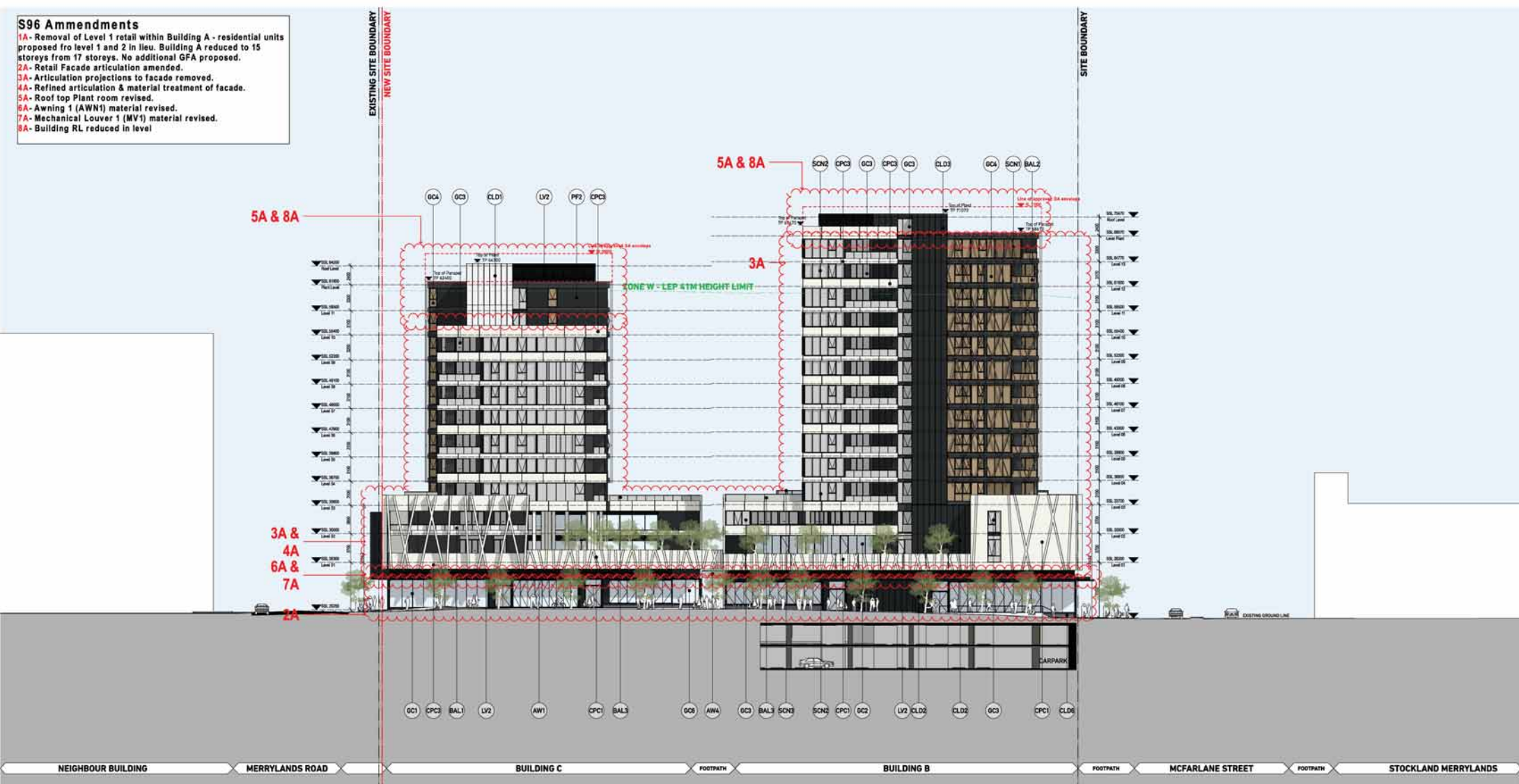
Date: 1/09/2021
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Page: 03

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TURNER

S96 Amendments

- 1A- Removal of Level 1 retail within Building A - residential units proposed fro level 1 and 2 in lieu. Building A reduced to 15 storeys from 17 storeys. No additional GFA proposed.
- 2A- Retail Facade articulation amended.
- 3A- Articulation projections to facade removed.
- 4A- Refined articulation & material treatment of facade.
- 5A- Roof top Plant room revised.
- 6A- Awning 1 (AWN1) material revised.
- 7A- Mechanical Louver 1 (MV1) material revised.
- 8A- Building RL reduced in level

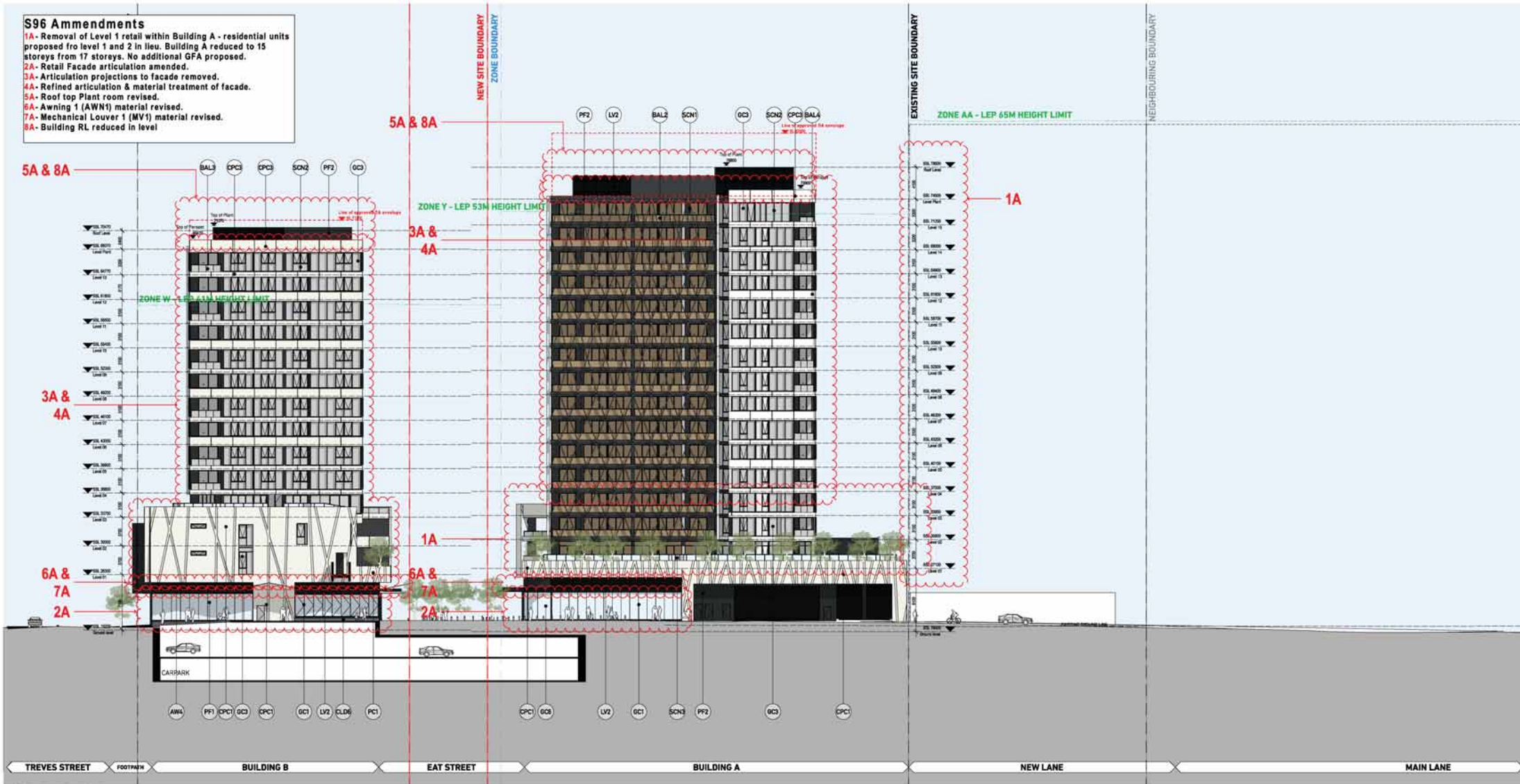


1 Parcel 1 & 3 East Elevation
1:200

- 6A**
- AWN1 Awning Type 1
Solid framing with coped metal deck roof and concealed boguiler. FC sheeting to underside painted. Colour to match PF1. Framing system and fascia, aluminium, colour and finish to match PCF2.
 - AWN2 Awning Type 2
Semi-Perforated Decorative Glass, clear, screen pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.
 - AWN3 Awning Type 3
Mesh cladding system. Decorative perforated pattern to underside with integrated lighting. Colour and finish to match PCF2.
 - AWN4 Awning Type 4
Semi-Perforated Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.
 - BAL1 Balustrade Type 1
Semi-Framless full height stainless glass balustrade to match GCF. Framing system, aluminium, colour and finish to match PCF1.
 - BAL2 Balustrade Type 2
Semi-Framless full height, bronze body (11) glass balustrade. Framing system powder coat finish, colour to match PCF2.
 - BAL3 Balustrade Type 3
Semi-Framless full height, Only (11) glass balustrade. Framing system powder coat finish, colour to match PCF2.
 - BAL4 Balustrade Type 4
Frosted glass balustrade. Refer to CRCE.
 - CLD1 Cladding Type 1
Mesh cladding system (before application with integrated louvers and doors to suit building services). Colour and finish to match Agalco M900 White (S35).
 - CLD2 Cladding Type 2
Mesh cladding system (before application with integrated louvers and doors to suit building services). Colour and finish to match Agalco M999 Charcoal (S35).
 - CLD3 Cladding Type 3
Mesh cladding system. Colour and finish to match Agalco M999 Charcoal (S35).
 - CLD4 Cladding Type 4
Decorative perforated metal cladding system. Colour and finish to match PCF2.
 - CLD5 Cladding Type 5
Perforated cladding system. Colour and finish to match PF2.
 - CLD6 Cladding Type 6
Stone cladding & living, honed finish. Stone equal to Deep Park Bluestone. Where contrasting edge required, Alpha White granite, outside finish, to be used.
 - CON1 Concrete Finish, Type 1
Concrete, expose finish with integrated signage. Finishing clear low alkali sealer.
 - CPC1 Precast Concrete, Type 1
Precast concrete facade system. Paint finish to match PF1.
 - CPC2 Precast Concrete, Type 2
Precast concrete facade system, vertical joints. Paint finish to match PF1.
 - CPC3 Precast Concrete, Type 3
Light weight precast facade system. Paint finish to match PF1.
 - CG1 Glass, Clear, Type 1
Neutral Glass, clear with integrated vision and high level finish at louvers. Framing system, aluminium. Frame colour to match PCF2.
 - CG2 Glass, Clear, Type 2
Neutral Glass, clear. Framing system, aluminium. Frame colour to match PCF2.
 - CG3 Glass, Clear, Type 3
Glass, Clear, Type 3
Glass, Clear with framing system, aluminium. Frame colour to match PCF2. Where applicable 'Shade box' operable with black pans to shadow use (pre-finished metal cladding, colour selection providing light and dark contrast to glass).
 - CG4 Glass, Clear, Type 4
Glass, Bronze tint. Framing system, aluminium, colour to match PCF2. Where applicable 'Shade box' to fit height operable with black pans to shadow use (pre-finished metal cladding).
 - CG5 Glass, Clear, Type 5
Glass, Grey Tinted. Framing system, aluminium, frame colour to match PCF2.
 - CG6 Glass, Clear, Type 6
Decorative Corner element. Curved Glass, clear. Framing system, aluminium, colour to match PCF2.
 - CG8 Glass, Clear, Type 8
Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system, aluminium. Frame colour to match PCF2.
 - CM1 Cement Render, Type 1
Cement render, paint finish. Paint finish to match PF1.
 - CM2 Cement Render, Type 2
Cement render, paint finish. Paint finish to match PF2.
 - LV1 Louvre, Type 1
Fixed horizontal mechanical louvre system, 800mm profile. Aluminium powdercoat finish. Colour and finish to match PCF1.
 - LV2 Louvre, Type 2
Fixed horizontal mechanical louvre system, 800mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.
 - LV3 Louvre, Type 3
Fixed horizontal mechanical louvre system, 800mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.
 - PCF1 Powdercoat Finish, Type 1
Powder coat colour to match Inception Pearl White Matt.
 - PCF2 Powdercoat Finish, Type 2
Powder coat colour to match Inception Monument Matt.
 - PF1 Paint Finish, Type 1
Paint finish. Colour to match Dulux 'Vivid White'.
 - PF2 Paint Finish, Type 2
Paint finish. Colour to match Dulux 'Dorino'.
 - SCN1 Screen, Type 1
300x 250mm Fixed Aluminium angled to integrated 150 off glass. Powdercoat finish to match PCF1.
 - SCN2 Screen, Type 2
Fixed Vertical Aluminium screen system 150 in depth integrated with window system. Powdercoat finish to match PCF2.
 - SCN3 Screen, Type 3
Fixed glass perimeter screening with steel structure support, elements to match PCF1. Note: Refer to BASIX assessment for performance requirements of glazing and external elements. Refer to landscape documentation for aquatic curtain and landscape areas for further information regarding materials and finishes selection.
 - SCN4 800x 250mm Fixed Aluminium angled for integrated and fixed to side edge. Powdercoat finish to match PCF1.
 - SCN5 Fixed Louvers and solid screen wall to park areas. Note: Refer to BASIX assessment for performance requirements of glazing and external elements. Refer to landscape documentation for aquatic curtain and landscape areas for further information regarding materials and finishes selection.

S96 Amendments

- 1A - Removal of Level 1 retail within Building A - residential units proposed for level 1 and 2 in lieu. Building A reduced to 15 storeys from 17 storeys. No additional GFA proposed.
- 2A - Retail Facade articulation amended.
- 3A - Articulation projections to facade removed.
- 4A - Refined articulation & material treatment of facade.
- 5A - Roof top Plant room revised.
- 6A - Awning 1 (AWN1) material revised.
- 7A - Mechanical Louver 1 (MV1) material revised.
- 8A - Building RL reduced in level



1 Parcel 1 & 2 South Elevation
1200

6A

AWN Awning Type 1
Solid awning with optional wicker deck roof and concealed boguiler. FC shading to underside painted. Colour to match PF1. Framing system and fascia, aluminium, colour and finish to match PCF2.

AWN Awning Type 2
Semi-Translucent Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.

AWN Awning Type 3
Metal cladding system. Decorative perforated pattern in understated with integrated lighting. Colour and finish to match PCF2.

AWN Awning Type 4
Semi-Translucent Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.

BAL Balustrade Type 1
Semi-Translucent full height frameless glass balustrade to match GC1. Framing system, aluminium, colour and finish to match PCF1.

BAL2 Balustrade Type 2
Semi-Translucent full height, bronze body glass balustrade. Framing system powder coat finish, colour to match PCF2.

BAL3 Balustrade Type 3
Semi-Translucent full height. Only full glass balustrade. Framing system powder coat finish, colour to match PCF2.

BAL4 Balustrade Type 4
Framed glass system balustrade. Refer to GC1.

CLD Cladding Type 1
Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Apollo M700 White SS304.

CLD Cladding Type 2
Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Apollo M799 Charcoal SS304.

CLD Cladding Type 3
Metal cladding system. Colour and finish to match Apollo M799 Charcoal SS304.

CLD4 Cladding Type 4
Decorative perforated metal cladding system. Colour and finish to match PCF2.

CLD5 Cladding Type 5
Pre-finished cladding system. Colour and finish to match PF2.

CLD6 Cladding Type 6
Bronze cladding & hanging, frosted brass. Stone equal to Deep Park BlueStone. Where contrasting edge required, Alpine White granite, outside finish, to be used.

CON Concrete Finish, Type 1
Precast concrete finish with integrated signage. Finishing clear low-sheen sealant.

CON Precast Concrete, Type 1
Precast concrete decorative facade system. Panel finish to match PF1.

CON Precast Concrete, Type 2
Precast concrete system, vertical panels. Panel finish to match PF1.

CON Precast Concrete, Type 3
Light weight concrete facade system. Panel finish to match PF1.

CON Glass, Clear, Type 1
Neutral Glass, clear with integrated vision and high level finish or louvers. Framing system, aluminium, colour to match PCF2.

CON Glass, Clear, Type 2
Neutral Glass, clear. Framing system, aluminium. Frame colour to match PCF2.

CON Glass, Clear, Type 3
Glass, Clear, Type 3
Glass, Clear, Type 3
Glass, Clear, Type 3
Glass, Clear, Type 3
Glass, Clear, Type 3
Glass, Clear, Type 3
Glass, Clear, Type 3

CON Glass, Clear, Type 4
Glass, Clear, Type 4
Glass, Clear, Type 4
Glass, Clear, Type 4
Glass, Clear, Type 4
Glass, Clear, Type 4
Glass, Clear, Type 4
Glass, Clear, Type 4

CON Glass, Clear, Type 5
Glass, Clear, Type 5
Glass, Clear, Type 5
Glass, Clear, Type 5
Glass, Clear, Type 5
Glass, Clear, Type 5
Glass, Clear, Type 5
Glass, Clear, Type 5

CON Glass, Clear, Type 6
Decorative Corner element. Curved Glass, clear. Framing system, aluminium, colour to match PCF2.

CON Glass, Clear, Type 8
Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system, aluminium, colour to match PCF2.

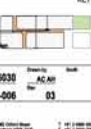
CON Cement render, Type 1
Cement render, matt finish. Panel finish to match PF1.

CON Cement render, Type 2
Cement render, matt finish. Panel finish to match PF2.

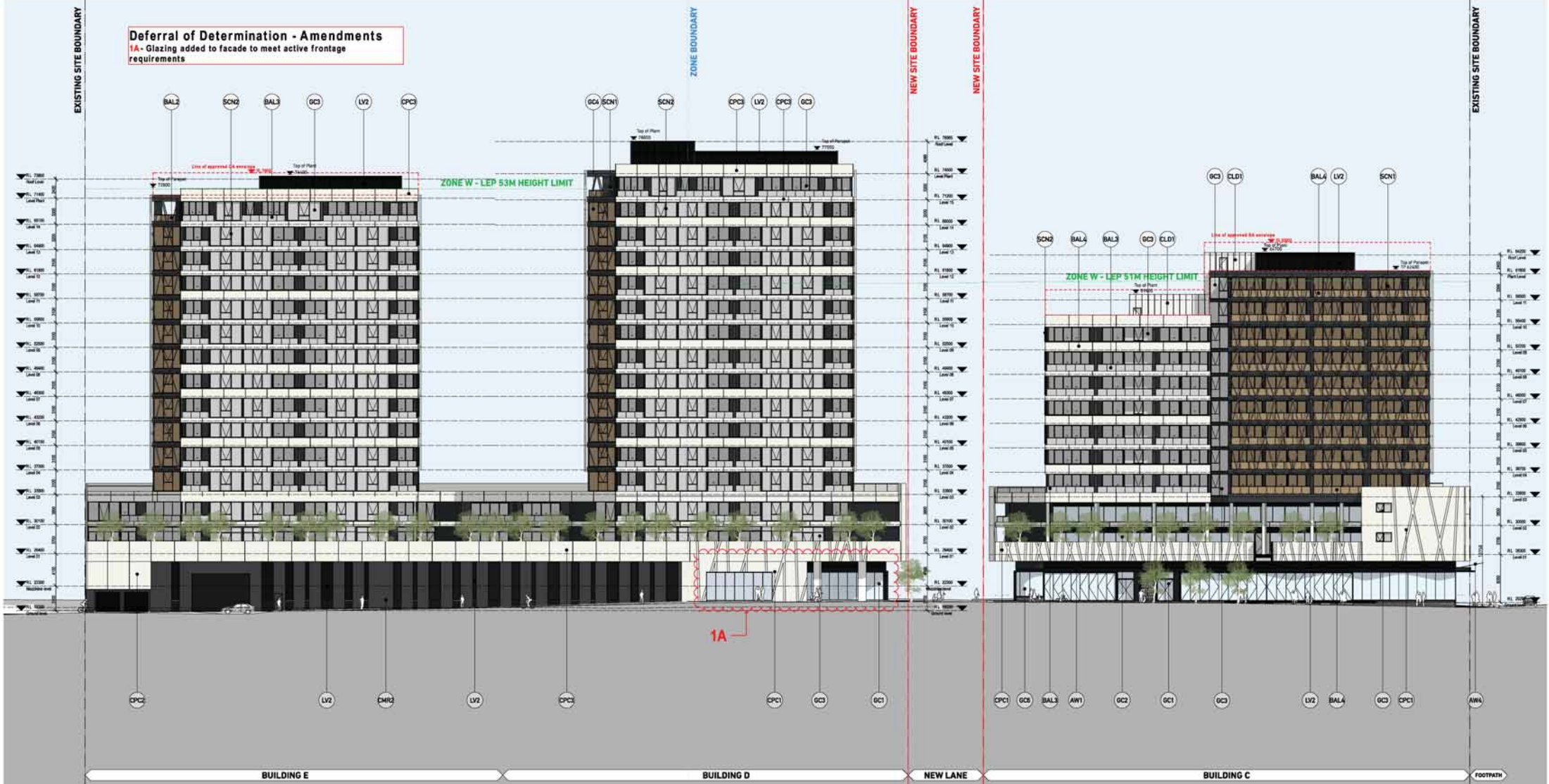
CON Glass, Clear, Type 8
Glass, Grey Translucent. Framing system, aluminium, frame colour to match PCF1.

CON Glass, Clear, Type 6
Glass, Clear, Type 6

KEY



Deferral of Determination - Amendments
1A - Glazing added to facade to meet active frontage requirements



1 Parcel 3 & 4 North Elevation
 1:200

Material & Finish (Refer to Sample Board for Further Information)	Description	Material & Finish (Refer to Sample Board for Further Information)	Description
AW1	Awning Type 1 Solid framing with composite metal deck roof and concealed bogieball. FC glazing to underside panels. Colour to match PF1. Framing system and fascia, aluminium, colour and finish to match PCF2.	BAL2	Balustrade Type 2 Semi-Framless full height, bronze body (T) glass balustrade. Framing system powder coat finish, colour to match PCF2.
AW2	Awning Type 2 Semi-Framless Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.	BAL3	Balustrade Type 3 Semi-Framless full height, Grey tint glass balustrade. Framing system powder coat finish, colour to match PCF2.
AW3	Awning Type 3 Metal cladding system. Decorative perforated pattern to underside with integrated lighting. Colour and finish to match PCF2.	BAL4	Balustrade Type 4 Framed system balustrade. Refer to CHC3.
AW4	Awning Type 4 Semi-Framless Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.	CLD1	Cladding Type 1 Metal cladding system (where applicable) with integrated louvers and doors to suit building services. Colour and finish to match Agalite M900 White (S33).
BAL1	Balustrade Type 1 Semi-Framless full height white translucent glass balustrade to match GCB. Framing system, aluminium, colour and finish to match PCF1.	CLD2	Cladding Type 2 Metal cladding system (where applicable) with integrated louvers and doors to suit building services. Colour and finish to match Agalite M999 Charcoal (S33).
		CLD3	Cladding Type 3 Metal cladding system. Colour and finish to match Agalite M999 Charcoal (S33).
		CLD4	Cladding Type 4 Decorative perforated metal cladding system. Colour and finish to match PCF2.
		CLD5	Cladding Type 5 Perforated cladding system. Colour and finish to match PCF2.
		CLD6	Cladding Type 6 Stone cladding & paving, honed finish. Stone equal to Deep Park Bluestone. Where contrasting edge required, Alpine White granite, outside finish, to be used.
		CON1	Concrete Finish, Type 1 Concrete, nature finish with integrated signage. Finishing clear low abrasion sealer.
		CPC1	Precast Concrete, Type 1 Precast concrete decorative facade system. Panel finish to match PF1.
		CPC2	Precast Concrete, Type 2 Precast concrete system, vertical joints. Panel finish to match PF1.
		CPC3	Precast Concrete, Type 3 Light weight precast facade system. Panel finish to match PF1.
		GCB	Glass, Clear, Type 1 Neutral Glass, clear with integrated vision and high level finish at towers. Framing system, aluminium. Frame colour to match PCF2.
		GCB2	Glass, Clear, Type 2 Neutral Glass, clear. Framing system, aluminium. Frame colour to match PCF2.
		GCB3	Glass, Clear, Type 3 Glass, Clear tint. Framing system, aluminium. Frame colour to match PCF2. Where applicable 'Shade box' operable with back pane to shadow area (preformed metal cladding, colour selection providing light and dark contrast to glass).
		GCB4	Glass, Clear, Type 4 Glass, Bronze tint. Framing system, aluminium, colour to match PCF2. Where applicable 'Shade box' to fit height operable with back pane to shadow box preformed metal cladding.
		GCB5	Glass, Clear, Type 5 Glass, Grey Translucent. Framing system, aluminium, frame colour to match PCF1.
		GCB6	Glass, Clear, Type 6 Glass, Clear, Type 6.
		GCB7	Glass, Clear, Type 7 Glass, Clear, Type 7.
		GCB8	Glass, Clear, Type 8 Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system, aluminium. Frame colour to match PCF2.
		CM1	Cement Render, Type 1 Cement render, pebbled finish. Paint finish to match PF1.
		CM2	Cement Render, Type 2 Cement render, pebbled finish. Paint finish to match PF2.
		LVL1	Louvre, Type 1 Fixed horizontal mechanical louvre system, 800mm profile. Aluminium powdercoat finish. Colour and finish to match PCF1.
		LVL2	Louvre, Type 2 Fixed horizontal mechanical louvre system, 800mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.
		LVL3	Louvre, Type 3 Fixed horizontal mechanical louvre system, 100mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.
		PCF1	Powercoat Finish, Type 1 Powder coat Colour to match Ingoton Pearl White Matt.
		PCF2	Powercoat Finish, Type 2 Powder coat Colour to match Ingoton Monument Matt.
		PF1	Paint Finish, Type 1 Paint finish. Colour to match Dulux 'Vivid White'.
		PF2	Paint Finish, Type 2 Paint finish. Colour to match Dulux 'Dorino'.
		SCN1	Screen, Type 1 300x200mm Fixed Aluminium angled to integrated ISO off glazing. Powdercoat finish to match PCF1.
		SCN2	Screen, Type 2 Fixed Vertical Aluminium screen system ISO in depth integrated with window system. Powdercoat finish to match PCF2.
		SCN3	Screen, Type 3 Fixed glass perimeter screening with steel structure support, elements to match PCF1.
		SCN4	800x250mm Fixed Aluminium angled for integration and fixed to side angle. Powdercoat finish to match PCF1.
		SCN5	Fixed Louvers and solid screen wall to park area. Refer to BASIX assessment for performance requirements of glazing and external elements. Refer to landscape documentation for public domain and landscape areas for further information regarding materials and finishes selection.

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Notes:
 1. Refer to survey drawing prepared by Linker Surveying
 2. Refer to site-specific Concept Design prepared by Reed & Brown Engineers
 3. Refer to traffic Report prepared by AECOM
 4. Refer to landscape Concept Design prepared by Golder
 5. Refer to BASIX Report Certificate number 18049992. Assessment Number - 109842

Project Name
Merrylands Court Stockland
 233-249 Merrylands Road Merrylands NSW 2160

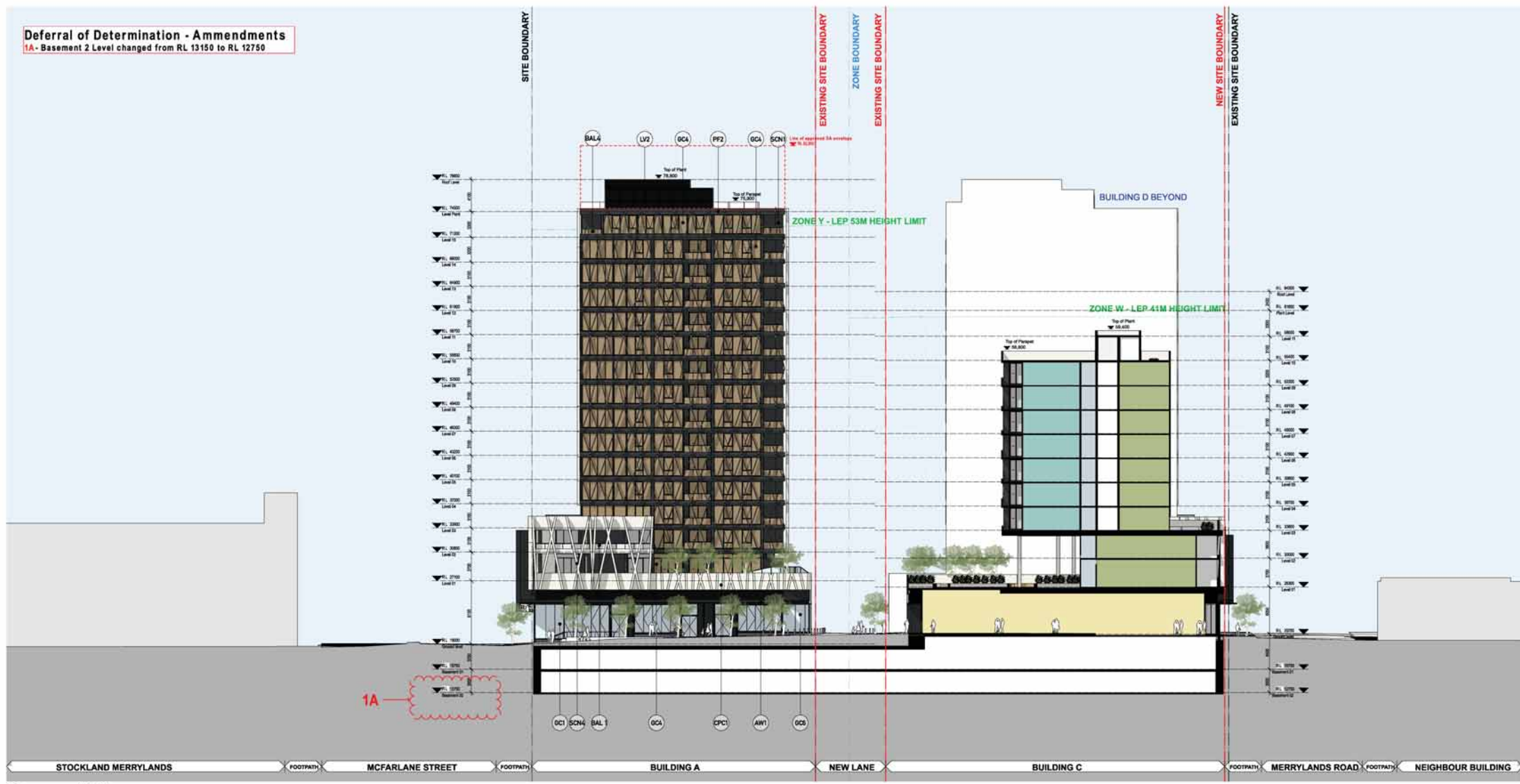
KEY

DA	20.02.17	AC	Deliver 88 Submission
SI	11.04.17	AD	SIW 88/20
DS	05.04.17	DS	BASIX 88/20
DA	17.02.17	DS	Final BASIX 88
SI	05.04.16	DS	Deliver DA Submission
SI	10.03.16	DS	DA Issue

Scale: 1:1000 (B1)
 Date: 15/03/2018
 Project No: 150330
 Drawing No: DA-210-007
 Sheet: 03A

TURNER

Deferral of Determination - Amendments
1A - Basement 2 Level changed from RL 13150 to RL 12750

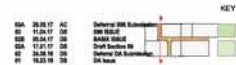


2 Section AA
1:200

Materials & Finishes (Refer to Sample Board for Further Information)

AW1	Awning Type 1 Solid framing with composite metal deck and concealed bogieball. FC glazing to underside painted. Colour to match PF1 framing system and fascia, aluminium, colour and finish to match PCF2.	BA2	Insulated Type 2 Semi-Framless full height, bronze body (1) glass balustrade. Framing system powder coat finish, colour to match PCF2.	CD4	Cladding Type 4 Decorative perforated metal cladding system. Colour and finish to match PCF2.	CG5	Glass, Clear, Type 5 Insulated Glass, clear with integrated vision and high level finish or louvers. Framing system, aluminium. Frame colour to match PCF2.	CG6	Glass, Clear, Type 6 Decorative Corner element. Curved Glass, clear. Framing system, aluminium, colour to match PCF2.	L12	Louvre, Type 2 Fixed horizontal traditional louvre system, 800mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.	SC9	Screen, Type 1 300x 250mm Fixed Aluminium angled to integrated ISO off glass. Powdercoat finish to match PCF1.
AW2	Awning Type 2 Semi-Framless Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.	BA3	Insulated Type 3 Semi-Framless full height, bronze body (1) glass balustrade. Framing system powder coat finish, colour to match PCF2.	CD6	Cladding Type 6 Bronze cladding & bronze, honed finish. Stone equal to Deep Park BlueStone. Where contrasting edge required, Apina White granite, outside finish, to be used.	CG2	Glass, Clear, Type 2 Insulated Glass, clear. Framing system, aluminium. Frame colour to match PCF2.	CG8	Glass, Clear, Type 8 Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system, aluminium. Frame colour to match PCF2.	L13	Louvre, Type 3 Fixed horizontal mechanical louvre system, 100mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.	SC10	Screen, Type 2 Fixed Vertical Aluminium screen system ISO in depth integrated with window system. Powdercoat finish to match PCF2.
AW3	Awning Type 3 Metal cladding system. Decorative perforated pattern to underside with integrated lighting. Colour and finish to match PCF2.	BA4	Balustrade Type 4 Framed spigot system balustrade. Refer to OCE.	CD1	Concrete Finish, Type 1 Main cladding system (where applicable) with integrated signage. Finishing clear low abrasion sealer.	CG3	Glass, Clear, Type 3 Insulated Glass, clear. Framing system, aluminium. Frame colour to match PCF2. Where applicable 'Shade box' operable with black panels to shade low performance metal cladding, colour selection providing light and dark contrast to glass.	CG1	Cement Render, Type 1 Cement render, paint finish. Paint finish to match PF1.	PC1	Powercoat Finish, Type 1 Powder coat Colour to match Ingoton Pearl White Matt.	SC10	Screen, Type 3 Fixed glass perimeter screening with steel structure support, elements to match PCF1.
AW4	Awning Type 4 Semi-Framless Decorative Glass, clear, custom pattern integrated to framed glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.	CD2	Cladding Type 2 Main cladding system (where applicable) with integrated louvers and doors to suit building services. Colour and finish to match Apina M910 White (333).	OP1	Precast Concrete, Type 1 Precast coated decorative facade system. Paint finish to match PF1.	CG4	Glass, Clear, Type 4 Glass, Bronze tint. Framing system, aluminium, colour to match PCF2. Where applicable 'Shade box' to fit height operable with black panels to shade low performance metal cladding.	CG2	Cement Render, Type 2 Cement render, paint finish. Paint finish to match PF2.	PC2	Powercoat Finish, Type 2 Powder coat Colour to match Ingoton Monument Matt.	SC14	800x 250mm Fixed Aluminium angled to integrate and fixed to side edge. Powdercoat finish to match PCF1.
BA1	Balustrade Type 1 Semi-Framless full height bronze anodized glass balustrade to match OCF. Framing system, aluminium, colour and finish to match PCF1.	CD3	Cladding Type 3 Main cladding system. Colour and finish to match Apina M799 Charcoal (336).	OP2	Precast Concrete, Type 2 Precast facade system, vertical joints. Paint finish to match PF1.	CG5	Glass, Clear, Type 5 Insulated Glass, Grey Translucent. Framing system, aluminium, frame colour to match PCF1.	CG3	Glass, Clear, Type 3 Light weight concealed facade system. Paint finish to match PF1.	L15	Louvre, Type 1 Fixed horizontal mechanical louvre system, 100mm profile. Aluminium powdercoat finish. Colour and finish to match PCF1.	SC16	Fixed Louvers and solid screen well to park areas. Refer to BASIX assessment for performance requirements of glazing and external elements. Refer to landscape documentation for public domain and landscape areas for further information regarding materials and finishes selection.

KEY



S96 Ammendments

- 1A- Removal of Level 1 retail within Building A - residential units proposed fro level 1 and 2 in lieu. Building A reduced to 15 storeys from 17 storeys. No additional GFA proposed.
- 2A- Retail Facade articulation amended.
- 3A- Articulation projections to facade removed.
- 4A- Refined articulation & material treatment of facade.
- 5A- Roof top Plant room revised.
- 6A- Awning 1 (AWN1) material revised.
- 7A- Mechanical Louver 1 (MV1) material revised.
- 8A- Building RL reduced in level



Section BB
1:200

- 6A**
- AWN1 Awning Type 1
Solid Awning with coloured metal deck roof and concealed box gutter. PC sheeting to underside painted. Colour to match PFI Framing system and fascia, aluminum, colour and finish to match PCF2.
 - AWN2 Awning Type 2
Semi Frameless Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system and fascia, aluminum, colour and finish to match PCF2.
 - AWN3 Awning Type 3
Metal cladding system. Decorative perforated pattern to underside with integrated lighting. Colour and finish to match PCF2.
 - AWN4 Awning Type 4
Semi Frameless Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system and fascia, aluminum, colour and finish to match PCF2.
 - BAL1 Balustrade Type 1
Semi Frameless full height White translucent glass balustrade to match GC1. Framing system, aluminum, colour and finish to match PCF1.

- BAL2 Balustrade Type 2
Semi Frameless full height, Bronze body tint glass balustrade. Framing system powder coat finish, colour to match PCF2.
- BAL3 Balustrade Type 3
Semi Frameless full height, Grey tint glass balustrade. Framing system powder coat finish, colour to match PCF2.
- BAL4 Balustrade Type 4
Precast concrete balustrade. Refer to CPC3.
- CLD1 Cladding Type 1
Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Alpic M9000 White (G30).
- CLD2 Cladding Type 2
Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Alpic M7999 Charcoal (G30).
- CLD3 Cladding Type 3
Metal cladding system. Colour and finish to match Alpic M7999 Charcoal (G30).
- CLD4 Cladding Type 4
Decorative patterned metal cladding system. Colour and finish to match PCF2.
- CLD5 Cladding Type 5
Prefinished cladding system. Colour and finish to match PCF2.
- CLD6 Cladding Type 6
Stone cladding & saving, honed finish. Stone equal to Deer Park Bluestone. Where contrasting edge required, Alpine White granite, eodolite finish, to be used.
- COP1 Concrete Finish, Type 1
Concrete, natural finish with integrated signage. Penetrating clear low sheen sealer.
- CPC1 Precast Concrete, Type 1
Precast closed decorative facade system. Paint finish to match PFI.
- CPC2 Precast Concrete, Type 2
Precast facade system, vertical joints. Paint finish to match PFI.
- CPC3 Precast Concrete, Type 3
Light weight precast facade system. Paint finish to match PFI.
- GC1 Glass, Clear, Type 1
Retail - Glass, clear with integrated doors and high level finish air louvers. Framing system, aluminum. Frame colour to match PCF2.
- GC2 Glass, Clear, Type 2
Residential - Glass, clear. Framing system, aluminum. Frame colour to match PCF2.
- GC3 Glass, Grey tint, Framing system, aluminum. Frame colour to match PCF2. Where applicable 'Shadow box' spandrels with Back pane to shadow box prefinished metal cladding, colour selection providing light and dark contrast to glass.
- GC4 Glass, Clear, Type 4
Glass, Bronze tint. Framing system, aluminum, colour to match PCF2. Where applicable 'Shadow box' full height spandrels with Back pane to shadow box prefinished metal cladding.
- GC5 Glass, Clear, Type 5
Glass, Grey Translucent. Framing system, aluminum, frame colour to match PCF1.
- GC6 Glass, Clear, Type 6
Decorative Corner element: Curved Glass, clear. Framing system, aluminum, colour to match PCF2.
- GC8 Glass, Clear, Type 8
Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system, aluminum. Frame colour to match PCF2.
- CMR1 Cement Render, Type 1
Cement render, paint finish. Paint finish to match PFI.
- CMR2 Cement Render, Type 2
Cement render, paint finish. Paint finish to match PCF2.
- LV1 Louvre, Type 1
Fixed horizontal mechanical louvre system, 100mm profile. Aluminum powdercoat finish. Colour and finish to match PCF1.
- LV2 Louvre, Type 2
Fixed horizontal mechanical louvre system, 100mm profile. Aluminum powdercoat finish. Colour and finish to match PCF2.
- LV3 Louvre, Type 3
Fixed horizontal mechanical louvre system, 100mm profile. Aluminum powdercoat finish. Colour and finish integral to window system.
- PCF1 Powder Coat Colour to match Interpon Pearl White Matt.
- PCF2 Powder Coat Colour to match Interpon Monument Matt.
- PFI Paint Finish, Type 1
Paint finish. Colour to match Dulux 'Vivid White'.
- PF2 Paint Finish, Type 2
Paint finish. Colour to match Dulux 'Domino'.
- SCN1 Screen, Type 1
200x 200mm Fixed Aluminium angled fin integrated ISO off glazing. Powdercoat finish to match PCF1.
- SCN2 Screen, Type 2
Fixed Vertical Aluminium screen system ISO in depth integrated with window system. Powdercoat finish to match PCF2.
- SCN3 Screen, Type 3
Fixed glass perimeter screening with steel structure support, elements to match PCF1.
- SCN4 600x 250mm Fixed Aluminium angled fin integrated and fixed to slab edge. Powdercoat finish to match PCF1.
- Note
Refer to BASIX assessment for performance requirements of glazing and external Materials.
Refer to landscape documentation for public domain and landscape areas for further information regarding materials and finishes selection.

NOTES:
1. Refer to contract documents for all applicable standards, specifications and approvals.
2. Refer to BASIX assessment for performance requirements of glazing and external Materials.
3. Refer to landscape documentation for public domain and landscape areas for further information regarding materials and finishes selection.

CLIENT:
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+61 2 9035 3351
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NOTES:
1. Refer to survey drawing prepared by Linker Surveying.
2. Refer to site location. Concept drawings prepared by Wood & Grove Engineers.
3. Refer to traffic Report prepared by J. J. J.
4. Refer to Landscape Concept drawings prepared by J. J. J.
5. Refer to BASIX Report Certification number 180448990. Assessor Number - 180982

Project Title: **Merrylands Court Stockland**
233-249 Merrylands Road Merrylands NSW 2160

Scale: 1:200 @ B1

Drawn by: [Name]

Checked by: [Name]

Issue Date: 15/03/2024

Revision: 03

For Information: DA-310-002

GA Sections: Section BB - Building A & New Lane

TURNER

11/11/2024

S96 Amendments

- 1A- Removal of Level 1 retail within Building A - residential units proposed fro level 1 and 2 in lieu. Building A reduced to 15 storeys from 17 storeys. No additional GFA proposed.
- 2A- Retail Facade articulation amended.
- 3A- Articulation projections to facade removed.
- 4A- Refined articulation & material treatment of facade.
- 5A- Roof top Plant room revised.
- 6A- Awnning 1 (AWN1) material revised.
- 7A- Mechanical Louver 1 (MV1) material revised.
- 8A- Building RL reduced in level



Section CC
1:200

6A

AWN1 Awnning Type 1
Solid Awnning with colorbond metal deck roof and concealed box gutter. PC sheeting to underside plainer. Colour to match PFI Framing system and fascia, aluminum, colour and finish to match PCF2.

AWN2 Awnning Type 2
Semi Frameless Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system and fascia, aluminum, colour and finish to match PCF2.

AWN3 Awnning Type 3
Metal cladding system. Decorative perforated pattern to underside with integrated lighting. Colour and finish to match PCF2.

AWN4 Awnning Type 4
Semi Frameless Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system and fascia, aluminum, colour and finish to match PCF2.

BAL1 Balustrade Type 1
Semi Frameless full height White translucent glass balustrade to match GC2. Framing system, aluminum, colour and finish to match PCF1.

- | | | | | | | | | | | | |
|------|---|------|--|-----|---|------|---|------|---|------|--|
| BAL2 | Balustrade Type 2
Semi Frameless full height, Bronze body tint glass balustrade. Framing system powder coat finish, colour to match PCF2. | CLD4 | Cladding Type 4
Decorative patterned metal cladding system. Colour and finish to match PCF2. | GC1 | Glass, Clear, Type 1
Retail - Glass, clear with integrated doors and high level fresh air louvers. Framing system, aluminum, frame colour to match PCF2. | GC6 | Glass, Clear, Type 6
Decorative Corner element - Curved Glass, clear. Framing system, aluminum, colour to match PCF2. | LV2 | Louvre, Type 2
Fixed horizontal mechanical louvre system, 100mm profile. Aluminum powdercoat finish. Colour and finish to match PCF2. | SCN1 | Screen, Type 1
300x T-slot fixed Aluminum angled fin integrated ISO off glazing. Powdercoat finish to match PCF1. |
| BAL3 | Balustrade Type 3
Semi Frameless full height, Grey tint glass balustrade. Framing system powder coat finish, colour to match PCF2. | CLD5 | Cladding Type 5
Prefinished cladding system. Colour and finish to match PCF2. | GC2 | Glass, Clear, Type 2
Residential - Glass, clear. Framing system, aluminum. Frame colour to match PCF2. | GC8 | Glass, Clear, Type 8
Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system, aluminum, frame colour to match PCF2. | LV3 | Louvre, Type 3
Fixed horizontal mechanical louvre system, 100mm profile. Aluminum powdercoat finish. Colour and finish to match PCF2. | SCN2 | Screen, Type 2
Fixed Vertical Aluminum screen system ISO in depth integrated with window system. Powdercoat finish to match PCF2. |
| BAL4 | Balustrade Type 4
Precast concrete system balustrade. Refer to CPC3. | CLD6 | Cladding Type 6
Stone cladding & saving, honed finish. Stone equal to Deer Park BlueStone. Where contrasting edge required, Alpine White granite, exfoliate finish, to be used. | GC3 | Glass, Clear, Type 3
Glass, Grey tint. Framing system, aluminum. Frame colour to match PCF2. | CMR1 | Concrete Render, Type 1
Concrete render, paint finish. Paint finish to match PFI. | PCF1 | Powdercoat Finish, Type 1
Powder coat Colour to match Interpon Paint White Matt. | SCN3 | Screen, Type 3
Fixed glass perimeter screening with steel structure support, elements to match PCF1. |
| CLD1 | Cladding Type 1
Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Alpolic M9000 White (G30). | COP1 | Precast concrete facade with integrated signage. Penetrating clear low vision screen. | GC4 | Glass, Clear, Type 4
Glass, Bronze tint. Framing system, aluminum, colour to match PCF2. Where applicable Shadow box to full height spandrels with Black panels to shadow box prefinished metal cladding, colour selection providing light and dark contrast to glass. | CMR2 | Concrete Render, Type 2
Concrete render, paint finish. Paint finish to match PCF2. | PCF2 | Powdercoat Finish, Type 2
Powder coat Colour to match Interpon Monument Matt. | SCN4 | Screen, Type 4
600x 250mm fixed Aluminum angled fin integrated and fixed to slab edge. Powdercoat finish to match PCF2. |
| CLD2 | Cladding Type 2
Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Alpolic M7999 Charcoal (G30). | CPC1 | Precast Concrete, Type 1
Precast closed decorative facade system. Paint finish to match PFI. | GC5 | Glass, Clear, Type 5
Glass, Grey Translucent. Framing system, aluminum, frame colour to match PCF1. | LVI | Louvre, Type 1
Fixed horizontal mechanical louvre system, 100mm profile. Aluminum powdercoat finish. Colour and finish to match PCF1. | PFI | Paint Finish, Type 1
Paint finish. Colour to match Dulux 'Vivid White'. | SCN5 | Screen, Type 5
Fixed Louvers and solid screen wall to plant areas. |
| CLD3 | Cladding Type 3
Metal cladding system. Colour and finish to match Alpolic M7999 Charcoal (G30). | CPC2 | Precast Concrete, Type 2
Precast facade system, vertical joints. Paint finish to match PFI. | GC6 | Glass, Clear, Type 6
Glass, Grey Translucent. Framing system, aluminum, frame colour to match PCF1. | PFI | Paint Finish, Type 2
Paint finish. Colour to match Dulux 'Domino'. | SCN6 | Screen, Type 6
Refer to BASIX assessment for performance requirements of glazing and external Materials.
Refer to landscape documentation for public domain and landscape areas for further information regarding materials and finishes selection. | Note | |

7A

CLIENT
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NOTES
1. Refer to survey drawing prepared by Linker Surveying
2. Refer to information Concept Design prepared by Wood & Grove Engineers
3. Refer to traffic Report prepared by AEC
4. Refer to Landscape Concept Design prepared by Douglas
5. Refer to BASIX Report Certification number 180448995 Assessor Number - 301962

Project Title
Merrylands Court Stockland
233-249 Merrylands Road Merrylands NSW 2160

Scale
1:200 at B1

Drawn by
ACAH

Check by
JG

Date
15/03/20

Project No.
15030

Drawn No.
03

For Information
DA-310-003

GA Sections
Section CC - Through Building D

TURNER

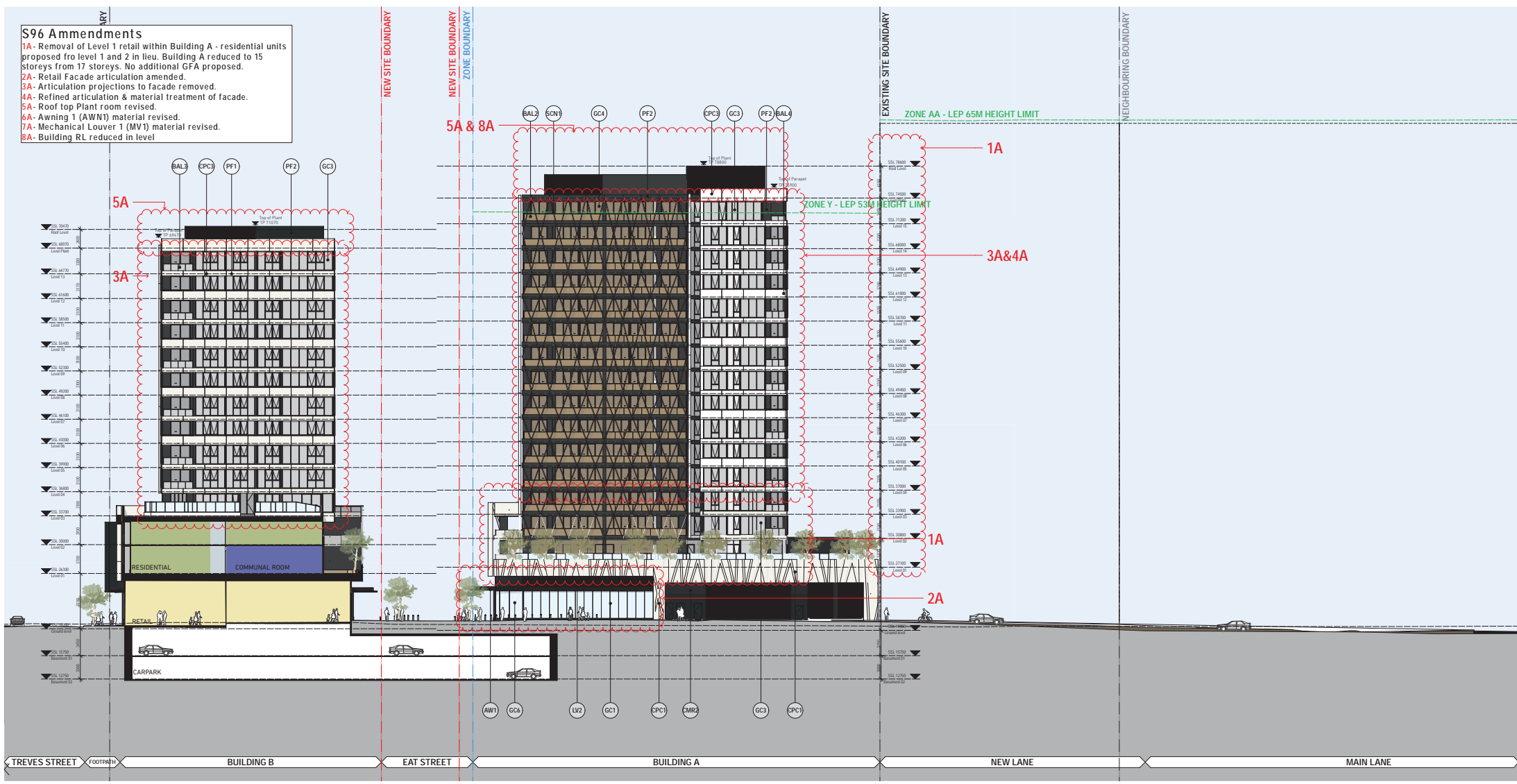
KEY

03 11/04/17 05 SH ISSUE
02B 05/04/17 05 BASK ISSUE
02A 17/01/17 05 Draft Section 96
07 24/08/16 05 External GA Submission
01 18/02/16 05 GA Issue

Scale: 1:200 at B1
Project No: 15030
Drawn by: ACAH
Check by: JG
Date: 15/03/20
For Information: DA-310-003

S96 Amendments

- 1A- Removal of Level 1 retail within Building A - residential units proposed fro level 1 and 2 in lieu. Building A reduced to 15 storeys from 17 storeys. No additional GFA proposed.
- 2A- Retail Facade articulation amended.
- 3A- Articulation projections to facade removed.
- 4A- Refined articulation & material treatment of facade.
- 5A- Roof top Plant room revised.
- 6A- Awning 1 (AWN1) material revised.
- 7A- Mechanical Louver 1 (MV1) material revised.
- 8A- Building RL reduced in level



1 Section DD 1/200

- 6A**
- AWN1 Awning Type 1 Solid Raining with colored metal deck roof and concealed box gutter. PC sheeting to underside panels. Colour to match PFI. Framing system and fascia, aluminium, colour and finish to match PCF2.
 - AWN2 Semi Frameless Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.
 - AWN3 Awning Type 2 Metal cladding system. Decorative perforated pattern to underside with integrated lighting. Colour and finish to match PCF2.
 - AWN4 Awning Type 4 Semi Frameless Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system and fascia, aluminium, colour and finish to match PCF2.
 - BAL1 Balustrade Type 1 Semi Frameless full height White translucent glass balustrade to match GC1. Framing system, aluminium, colour and finish to match PCF1.

- BAL2 Balustrade Type 2 Semi Frameless full height, Bronze body tint glass balustrade. Framing system powder coat finish, colour to match PCF2.
- BAL3 Balustrade Type 3 Semi Frameless full height, Grey tint glass balustrade. Framing system powder coat finish, colour to match PCF2.
- BAL4 Balustrade Type 4 Precast spigoted system balustrade. Refer to CPC3.
- CLD1 Cladding Type 1 Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Alpicor M9000 White (G30).
- CLD2 Cladding Type 2 Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Alpicor M7999 Charcoal (G30).
- CLD3 Cladding Type 3 Metal cladding system. Colour and finish to match Alpicor M7999 Charcoal (G30).

- CLD4 Cladding Type 4 Decorative patterned metal cladding system. Colour and finish to match PCF2.
- CLD5 Cladding Type 5 Prefinished cladding system. Colour and finish to match PF2.
- CLD6 Cladding Type 6 Stone cladding & paving, honed finish. Stone equal to Deer Park Bluestone. Where contrasting edge required, Alpine White granite, exfoliate finish, to be used.
- COP1 Concrete Finish, Type 1 Precast spigoted system balustrade with integrated signage. Penetrating clear low stress sealant.
- CPC1 Precast Concrete, Type 1 Precast closed decorative facade system. Paint finish to match PFI.
- CPC2 Precast Concrete, Type 2 Metal cladding system, vertical joints. Paint finish to match PFI.
- CPC3 Precast Concrete, Type 3 Light weight precast facade system. Paint finish to match PFI.

- GC1 Glass, Clear, Type 1 Retail - Glass, clear with integrated doors and high level fresh air louvers. Framing system, aluminium. Frame colour to match PCF2.
- GC2 Residential - Glass, clear. Framing system, aluminium. Frame colour to match PCF2.
- GC3 Glass, Clear, Type 3 Glass, Grey tint. Framing system, aluminium. Frame colour to match PCF2. Where applicable 'Shadow box' spandrels with Back pane to shadow box prefinished metal cladding, colour selection providing light and dark contrast to glass.
- GC4 Glass, Clear, Type 4 Glass, Bronze tint. Framing system, aluminium, colour to match PCF2. Where applicable 'Shadow box' to full height spandrels with Back pane to shadow box prefinished metal cladding.
- GC5 Glass, Clear, Type 5 Glass, Grey Translucent. Framing system, aluminium, frame colour to match PCF1.
- GC6 Glass, Clear, Type 6 Decorative Corner element: Curved Glass, clear. Framing system, aluminium, colour to match PCF2.

- CMR1 Cement Render, Type 1 Cement render, paint finish. Paint finish to match PFI.
- CMR2 Cement Render, Type 2 Cement render, paint finish. Paint finish to match PF2.
- LV1 Louvre, Type 1 Fixed horizontal mechanical louvre system, 100mm profile. Aluminium powdercoat finish. Colour and finish to match PCF1.
- LV2 Louvre, Type 2 Fixed horizontal mechanical louvre system, 100mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.
- LV3 Louvre, Type 3 Fixed horizontal mechanical louvre system, 100mm profile. Aluminium powdercoat finish. Colour and finish to match PCF2.
- PCF1 Powdercoat Finish, Type 1 Powder coat. Colour to match Interpon Pearl White Matt.
- PCF2 Powdercoat Finish, Type 2 Powder coat. Colour to match Interpon Monument Matt.
- PFI Paint Finish, Type 1 Paint finish. Colour to match Dulux 'Vivid White'.
- PF2 Paint Finish, Type 2 Paint finish. Colour to match Dulux 'Domino'.

- SCN1 Screen, Type 1 300x 75mm fixed Aluminium angled fin integrated ISO off glazing. Powdercoat finish to match PCF1.
- SCN2 Screen, Type 2 Fixed Vertical Aluminium screen system ISO in depth integrated with window system. Powdercoat finish to match PCF2.
- SCN3 Screen, Type 3 Fixed glass perimeter screening with steel structure support, elements to match PCF1.
- SCN4 600x 250mm fixed Aluminium angled fin integrated and fixed to slab edge. Powdercoat finish to match PCF1.
- Note Fixed Louvers and solid screen wall to plant areas. Refer to BASIX assessment for performance requirements of glazing and external Materials. Refer to landscape documentation for public domain and landscape areas for further information regarding materials and finishes selection.

NOTES

1. Refer to survey drawing prepared by Linker Surveying
2. Refer to information Concept Design prepared by Wood & Geiss Engineers
3. Refer to traffic Report prepared by Wood & Geiss Engineers
4. Refer to Landscape Concept Design prepared by Wood & Geiss Engineers
5. Refer to BASIX Report Certification number 180448990. Assessor Number - 101962

CLIENT

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Project Title
Merrylands Court Stockland
233-249 Merrylands Road Merrylands NSW 2160

Scale
1:200 @ B1

Drawn by
15030 AC/AL

Check by
03

For Information
DA-310-004

GA Sections
Section DD - Through Building B & New Lane

TURNER

KEY

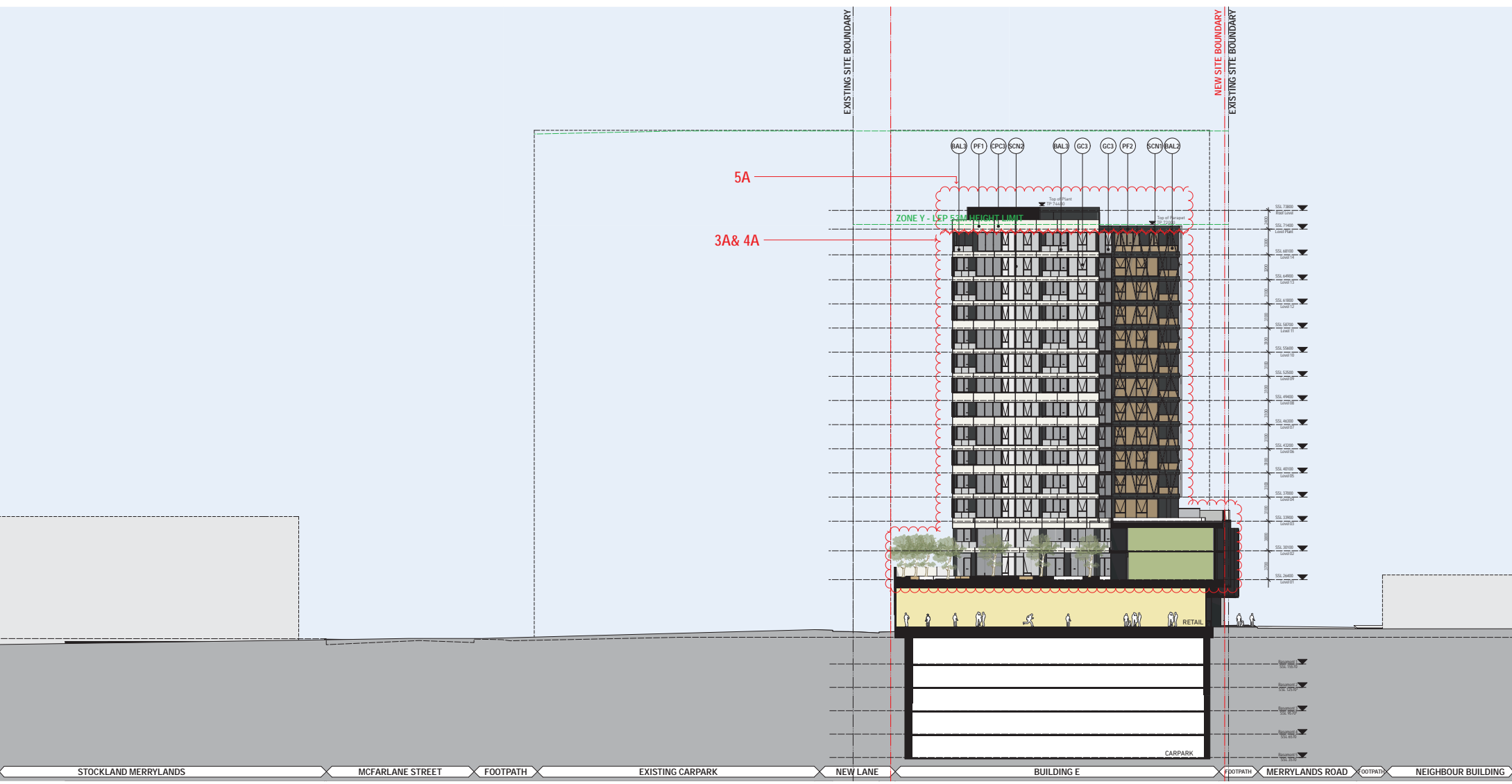
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03	17/01/17	DS	DRIFT SECTION
07	24/08/16	DS	DRIFT DA SUBMITTAL
01	18/02/16	DS	DA ISSUE

DATE
15/04/17

APPROVED BY
[Signature]

DATE
15/04/17

APPROVED BY
[Signature]



1 Section EE
1:200

Materials & Finishes (Refer to Sample Board for Further Information)	Materials & Finishes (Refer to Sample Board for Further Information)	Materials & Finishes (Refer to Sample Board for Further Information)	Materials & Finishes (Refer to Sample Board for Further Information)	Materials & Finishes (Refer to Sample Board for Further Information)	Materials & Finishes (Refer to Sample Board for Further Information)
AW1 Awwing Type 1 Solid Awwing with colorbond metal deck roof and concealed box gutter. FC sheathing to underside painted. Colour to match PF1. Framing system and fascia, aluminum, colour and finish to match PCF2.	BAL2 Balustrade Type 2 Semi Frameless full height, Bronze body tint glass balustrade. Framing system powder coat finish, colour to match PCF2.	CLD4 Cladding Type 4 Decorative patterned metal cladding system. Colour and finish to match PCF2	GCL1 Glass, Clear, Type 1 Retail - Glass, clear with integrated doors and high level finish air louvers. Framing system, aluminum. Frame colour to match PCF2.	GG6 Glass, Clear, Type 6 Decorative Corner element: Curved Glass, clear. Framing system, aluminum, colour to match PCF2.	LVL2 Louvre, Type 2 Fixed horizontal mechanical louvre system, 100mm profile. Aluminum powdercoat finish. Colour and finish to match PCF2.
AW2 Awwing Type 2 Semi Frameless Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system and fascia, aluminum, colour and finish to match PCF2.	BAL3 Balustrade Type 3 Semi Frameless full height, Grey tint glass balustrade. Framing system powder coat finish, colour to match PCF2.	CLD5 Cladding Type 5 Prefinished cladding system. Colour and finish to match PF2.	GCL2 Glass, Clear, Type 2 Residential - Glass, clear. Framing system, aluminum. Frame colour to match PCF2.	GG8 Glass, Clear, Type 8 Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system, aluminum. Frame colour to match PCF2.	LVL3 Louvre, Type 3 Fixed horizontal mechanical louvre system, 100mm profile. Aluminum powdercoat finish. Colour and finish integral to window system.
AW3 Awwing Type 3 Mesh cladding system. Decorative perforated pattern to underside with integrated lighting. Colour and finish to match PCF2.	BAL4 Balustrade Type 4 Precast spigot system balustrade. Refer to CPC3.	CLD6 Cladding Type 6 Zone cladding &aving, honed finish. Stone equal to Deer Park BlueStone. Where contrasting edge required, Alpine White granite, eucalypt finish, to be used.	GCL3 Glass, Grey tint Glass, Grey tint. Framing system, aluminum. Frame colour to match PCF2. Where applicable 'Shadow box' spandrels with Back pane to shadow box prefinished metal cladding, colour selection providing light and dark contrast to glass.	CMR1 Cement Render - Type 1 Cement render, paint finish. Paint finish to match PF1.	PCF1 Powder coat Powder coat Colour to match Interpon Puart White Matt.
AW4 Awwing Type 4 Semi Frameless Decorative Glass, clear, custom pattern integrated to finished glass surface. Framing system and fascia, aluminum, colour and finish to match PCF2.	CLD1 Cladding Type 1 Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Alpolic M9000 White (G30).	COF1 Concrete Finish, Type 1 Precast spigot system balustrade. Refer to CPC3.	GCL4 Glass, Clear, Type 4 Glass, Bronze tint. Framing system, aluminum, colour to match PCF2. Where applicable 'Shadow box' full height spandrels with Back pane to shadow box prefinished metal cladding.	CMR2 Cement Render - Type 2 Cement render, paint finish. Paint finish to match PF2.	PCF2 Powdercoat Finish, Type 2 Powder coat Colour to match Interpon Monument Matt.
BAL1 Balustrade Type 1 Semi Frameless full height White translucent glass balustrade to match GCL7. Framing system, aluminum, colour and finish to match PCF1.	CLD2 Cladding Type 2 Metal cladding system (where applicable with integrated louvers and doors to suit building services). Colour and finish to match Alpolic M7999 Charcoal (G30).	CPC1 Precast Concrete, Type 1 Precast closed decorative facade system. Paint finish to match PF1.	GCL5 Glass, Clear, Type 5 Glass, Grey Translucent. Framing system, aluminum, frame colour to match PCF1.	LVL1 Louvre, Type 1 Fixed horizontal mechanical louvre system, 100mm profile. Aluminum powdercoat finish. Colour and finish to match PCF1.	PF1 Paint Finish, Type 1 Paint finish. Colour to match Dulux 'Vivid White'.
	CLD3 Cladding Type 3 Metal cladding system. Colour and finish to match Alpolic M7999 Charcoal (G30).	CPC2 Precast Concrete, Type 2 Precast facade system, vertical joints. Paint finish to match PF1.	GCL6 Glass, Clear, Type 6 Glass, Clear, Type 6.	PF2 Paint Finish, Type 2 Paint finish. Colour to match Dulux 'Domino'.	SCN1 Screen, Type 1 200x 75mm fixed Aluminum angled fin integrated ISO off glazing. Powdercoat finish to match PCF1.
		CPC3 Precast Concrete, Type 3 Light weight precast facade system. Paint finish to match PF1.			SCN2 Screen, Type 2 Fixed Vertical Aluminum screen system ISO in depth integrated with window system. Powdercoat finish to match PCF2.
					SCN3 Screen, Type 3 Fixed glass perimeter screening with steel structure support, elements to match PCF1.
					SCN4 600x 250mm fixed Aluminum angled fin integrated and fixed to slab edge. Powdercoat finish to match PCF1.
					SCN5 Fixed Louvers and solid screen wall to plant areas.
					Note Refer to BASIX assessment for performance requirements of glazing and external Materials. Refer to landscape documentation for public domain and landscape areas for further information regarding materials and finishes selection.

APARTMENT LAYOUTS

The submitted plans meet the requirements of controls 4D-1, 4D-2, 4D-3 and 4E-1 of the ADG

Objective 4D-1

The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity.

Design criteria

1. Apartments are required to have the following minimum internal areas:

Apartment Type Minimum Internal Area

- 1 bedroom 50m²
- 2 bedroom 70m²
- 3 bedroom 90m²

The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each

2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.

Objective 4D-2

Environmental performance of the apartment is maximised

Design criteria

- 1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height
- 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window

Objective 4D-3

Apartment layouts are designed to accommodate a variety of household activities and needs

Design criteria

- 1. Master bedrooms have a minimum area of 10m² and other bedrooms 9m² (excluding wardrobe space)
- 2. Bedrooms have a minimum dimension of 3m (excluding wardrobe space)
- 3. Living rooms or combined living/dining rooms have a minimum width of:
 - 3.6m for studio and 1 bedroom apartments
 - 4m for 2 and 3 bedroom apartments
- 4. The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.

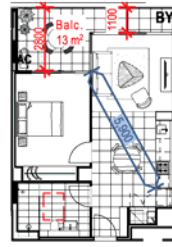
Objective 4E-1

Apartments provide appropriately sized private open space and balconies to enhance residential amenity.

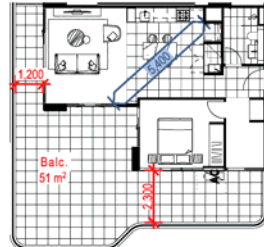
Design criteria

- 1. All apartments are required to have primary balconies as follows:
 - 1 bedroom apartments 6m² 2m
 - 2 bedroom apartments 10m² 2m
 - 3+ bedroom apartments 12m² 2.4m
 The minimum balcony depth to be counted as contributing to the balcony area is 1m.
- 2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m.

Note: Refer to Yield Schedule for areas



Apt Type - 1B_T01



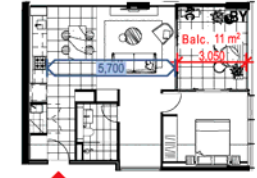
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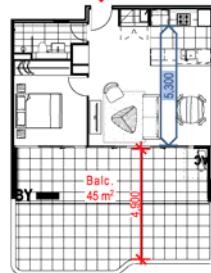
Apt Type - 1B_T04



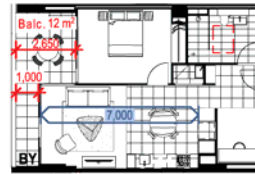
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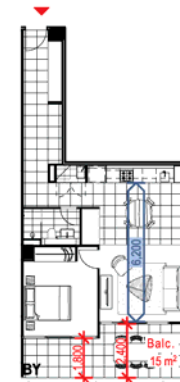
Apt Type - 1B_T07



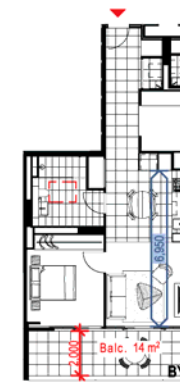
Apt Type - 1B_T08



Apt Type - 1B_T09



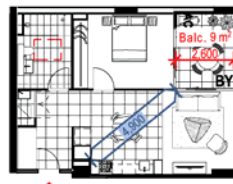
Apt Type - 1B_T10



Apt Type - 1B_T11



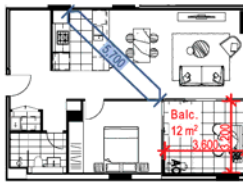
Apt Type - 1B_T12



Apt Type - 1B_T13



Apt Type - 1B_T14



Apt Type - 1B_T15

APARTMENT LAYOUTS

The submitted plans meet the requirements of controls 4D-1, 4D-2, 4D-3 and 4E-1 of the ADG

Objective 4D-1

The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity.

Design criteria

1. Apartments are required to have the following minimum internal areas:

Apartment Type Minimum Internal Area

- 1 bedroom 50m²
- 2 bedroom 70m²
- 3 bedroom 90m²

The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each

2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.

Objective 4D-2

Environmental performance of the apartment is maximised

Design criteria

- 1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height
- 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window

Objective 4D-3

Apartment layouts are designed to accommodate a variety of household activities and needs

Design criteria

- 1. Master bedrooms have a minimum area of 10m² and other bedrooms 9m² (excluding wardrobe space)
- 2. Bedrooms have a minimum dimension of 3m (excluding wardrobe space)
- 3. Living rooms or combined living/dining rooms have a minimum width of:
 - 3.6m for studio and 1 bedroom apartments
 - 4m for 2 and 3 bedroom apartments
- 4. The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.

Objective 4E-1

Apartments provide appropriately sized private open space and balconies to enhance residential amenity.

Design criteria

- 1. All apartments are required to have primary balconies as follows:
 - 1 bedroom apartments 6m² 2m
 - 2 bedroom apartments 10m² 2m
 - 3+ bedroom apartments 12m² 2.4m
 The minimum balcony depth to be counted as contributing to the balcony area is 1m.
- 2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m.

Note: Refer to Yield Schedule for areas



Apt Type - 2B_T11

Apt Type - 2B_T12

Apt Type - 2B_T13

Apt Type - 2B_T14

Apt Type - 2B_T15

APARTMENT LAYOUTS

The submitted plans meet the requirements of controls 4D-1, 4D-2, 4D-3 and 4E-1 of the ADG

Objective 4D-1

The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity.

Design criteria

1. Apartments are required to have the following minimum internal areas:

Apartment Type Minimum Internal Area

- 1 bedroom 50m²
- 2 bedroom 70m²
- 3 bedroom 90m²

The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each

2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.

Objective 4D-2

Environmental performance of the apartment is maximised

Design criteria

- 1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height
- 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window

Objective 4D-3

Apartment layouts are designed to accommodate a variety of household activities and needs

Design criteria

- 1. Master bedrooms have a minimum area of 10m² and other bedrooms 9m² (excluding wardrobe space)
- 2. Bedrooms have a minimum dimension of 3m (excluding wardrobe space)
- 3. Living rooms or combined living/dining rooms have a minimum width of:
 - 3.4m for studio and 1 bedroom apartments
 - 4m for 2 and 3 bedroom apartments
- 4. The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.

Objective 4E-1

Apartments provide appropriately sized private open space and balconies to enhance residential amenity.

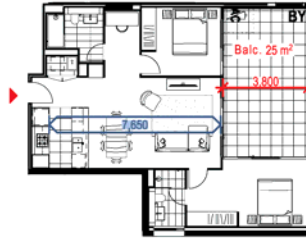
Design criteria

- 1. All apartments are required to have primary balconies as follows:
 - 1 bedroom apartments 8m² 2m
 - 2 bedroom apartments 10m² 2m
 - 3+ bedroom apartments 12m² 2.4m
 The minimum balcony depth to be counted as contributing to the balcony area is 1m.
- 2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m.

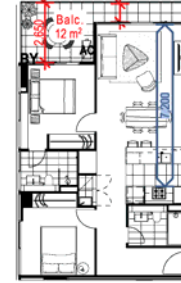
Note: Refer to Yield Schedule for areas



Apt Type - 2B_T16



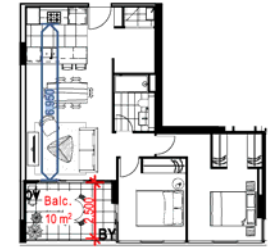
Apt Type - 2B_T17



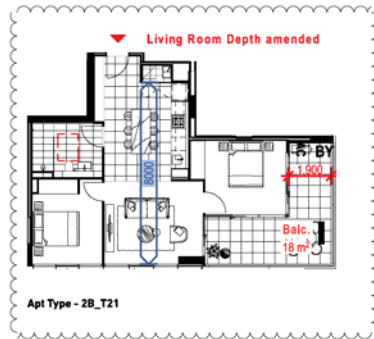
Apt Type - 2B_T18



Apt Type - 2B_T19



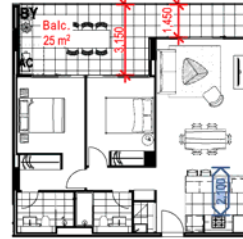
Apt Type - 2B_T20



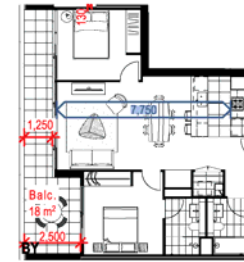
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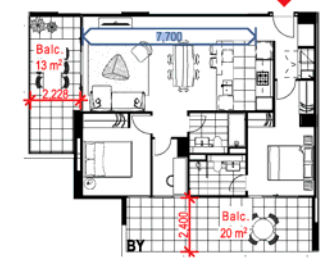
Apt Type - 2B_T22



Apt Type - 2B_T23



Apt Type - 2B_T24



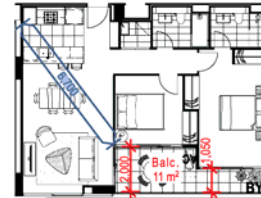
Apt Type - 2B_T25



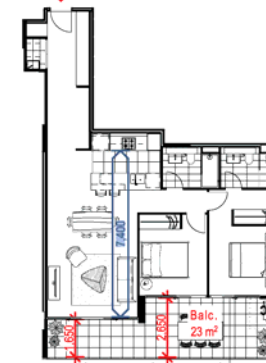
Apt Type - 2B_T26



Apt Type - 2B_T27



Apt Type - 2B_T28



Apt Type - 2B_T29

APARTMENT LAYOUTS

The submitted plans meet the requirements of controls 4D-1, 4D-2, 4D-3 and 4E-1 of the ADG

Objective 4D-1

The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity.

Design criteria

1. Apartments are required to have the following minimum internal areas:

Apartment Type Minimum Internal Area

- 1 bedroom 50m²
- 2 bedroom 70m²
- 3 bedroom 90m²

The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each

2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.

Objective 4D-2

Environmental performance of the apartment is maximised

Design criteria

- 1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height
- 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window

Objective 4D-3

Apartment layouts are designed to accommodate a variety of household activities and needs

Design criteria

- 1. Master bedrooms have a minimum area of 10m² and other bedrooms 9m² (excluding wardrobe space)
- 2. Bedrooms have a minimum dimension of 3m (excluding wardrobe space)
- 3. Living rooms or combined living/dining rooms have a minimum width of:
 - 3.6m for studio and 1 bedroom apartments
 - 4m for 2 and 3 bedroom apartments
- 4. The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.

Objective 4E-1

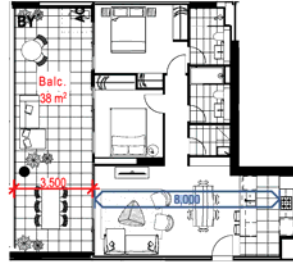
Apartments provide appropriately sized private open space and balconies to enhance residential amenity.

Design criteria

- 1. All apartments are required to have primary balconies as follows:
 - 1 bedroom apartments 6m² 2m
 - 2 bedroom apartments 10m² 2m
 - 3+ bedroom apartments 12m² 2.4m
 The minimum balcony depth to be counted as contributing to the balcony area is 1m.
- 2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m.



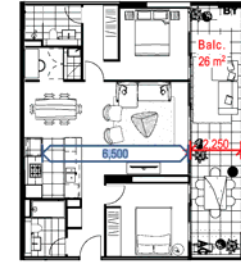
Apt Type - 2B_T30



Apt Type - 2B_T31



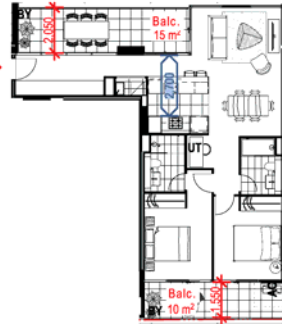
Apt Type - 2B_T32



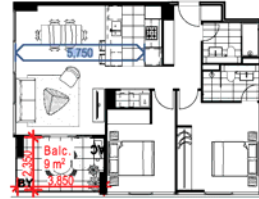
Apt Type - 2B_T33



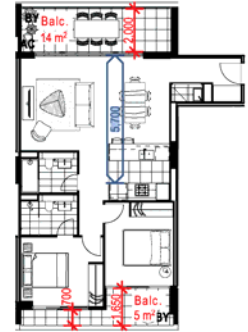
Apt Type - 2B_T34



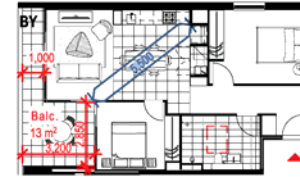
Apt Type - 2B_T35



Apt Type - 2B_T36



Apt Type - 2B_T37



Apt Type - 2B_T38



Apt Type - 2B_T37

Note: Refer to Yield Schedule for areas

APARTMENT LAYOUTS

The submitted plans meet the requirements of controls 4D-1, 4D-2, 4D-3 and 4E-1 of the ADG

Objective 4D-1

The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity.

Design criteria

1. Apartments are required to have the following minimum internal areas:

Apartment Type Minimum Internal Area

- 1 bedroom 50m²
- 2 bedroom 70m²
- 3 bedroom 90m²

The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m² each

2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.

Objective 4D-2

Environmental performance of the apartment is maximised

Design criteria

- 1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height
- 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window

Objective 4D-3

Apartment layouts are designed to accommodate a variety of household activities and needs

Design criteria

- 1. Master bedrooms have a minimum area of 10m² and other bedrooms 9m² (excluding wardrobe space)
- 2. Bedrooms have a minimum dimension of 3m (excluding wardrobe space)
- 3. Living rooms or combined living/dining rooms have a minimum width of:
 - 3.6m for studio and 1 bedroom apartments
 - 4m for 2 and 3 bedroom apartments
- 4. The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.

Objective 4E-1

Apartments provide appropriately sized private open space and balconies to enhance residential amenity.

Design criteria

- 1. All apartments are required to have primary balconies as follows:
 - 1 bedroom apartments 6m² 2m
 - 2 bedroom apartments 10m² 2m
 - 3+ bedroom apartments 12m² 2.4m
 The minimum balcony depth to be counted as contributing to the balcony area is 1m.
- 2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m² and a minimum depth of 3m.

Note: Refer to Yield Schedule for areas

